

A RESOLUTION AUTHORIZING THE EXECUTION OF CONSENT FOR ACCESS FORMS AND RESTORATION AGREEMENTS WITH THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY TO PERFORM REMEDIAL INVESTIGATION, REMEDIAL ACTION, REMOVAL ACTIVITY AND RESTORATION ACTIVITY ON CERTAIN CITY PROPERTIES RELATED TO THE FORMER KIL-TONE COMPANY SUPERFUND SITE.

WHEREAS, the United States Environmental Protection Agency (EPA) has been investigating and conducting excavation activities related to the former Kil-Tone Company Superfund Site located on East Chestnut Avenue and contiguous properties; and

WHEREAS, during the investigation of certain City-owned properties (hereinafter referred to as "Properties"), concentrations of one or more contaminants attributed to the Kil-Tone Company Superfund Site were detected that exceed the soil cleanup criteria; and

WHEREAS, these Properties are as follows:

- 519 E. Quince Street
- 702 E. Quince Street
- 520 S. 7th Street
- Medians of South East Boulevard from Chestnut Avenue to Quince Street

WHEREAS, Severson Environmental Services, Inc., Niagara, NY, a contractor of the EPA, has been contracted to excavate and remove all contaminated soil that exceeds the criteria set by EPA and the New Jersey Department of Environmental Protection; and

WHEREAS, in order to perform the remedial investigation, remedial action, removal activity and restoration activity, the EPA has requested that the City execute Consent for Access Forms and Restoration Agreements (attached) for such Properties; and

NOW THEREFORE BE IT RESOLVED, by the Council of the City of Vineland that the Mayor or designee, and Clerk are hereby authorized to execute Consent for Access Forms and Restoration Agreements with the EPA for the aforesaid City-owned properties to perform remedial investigation, remediation action, removal activity and restoration activity as attached hereto and made a part hereof.

Adopted: July 23, 2024

President of Council

eea

ATTEST:

City Clerk

kp



UNITED STATES ENVIRONMENTAL PROTECTION AGENCY

REGION 2
290 BROADWAY
NEW YORK, NY 10007-1866

CONSENT FOR ACCESS
Former Kil-Tone Company Superfund Site

ID: _____

Property Owner/Tenant(s) _____

Address of Property: _____

Block No. _____ Lot No. _____

I am the owner/tenant of the property listed above. I understand that EPA is conducting a remedial investigation for the Former Kil-Tone Company Superfund Site under its response and enforcement responsibilities as authorized by the Superfund law, also known as the Comprehensive Environmental Response, Compensation, and Liability Act, 42 U.S.C. §§ 9601-9675.

I also understand that EPA needs access to my property to conduct response activities in connection with the Former Kil-Tone Company Superfund Site.

I hereby consent to allow officers, employees and authorized representatives of EPA to enter and have access to my property in order to perform remedial activities including, but not limited to, the following tasks: 1) the collection of soil samples; 2) the excavation of contaminated soil; 3) off-site disposal of contaminated soil; and 4) backfill of excavated areas with clean fill.

I understand that such representatives may include contractors and/or subcontractors, other federal and state agencies, and their agents. I also understand and agree that the above-mentioned representatives may enter upon my property at reasonable times as mutually scheduled.

I recognize that performance of such actions may require some disturbance to the property and EPA will minimize any disturbance as much as possible. Areas of disturbance will be restored to prior conditions by EPA.

I understand that EPA requires its contractors to maintain comprehensive vehicle liability insurance and comprehensive general liability insurance.

This written permission is given by me voluntarily and without threats or promises of any kind. By my signature, I also acknowledge that I am fully authorized to grant such access.

By:

Owner's Name/Title Signature Date

Main Contact: Telephone Number Email Best time to call:

Tenant Name (if applicable) Signature Tenant Contact: Tel Number/Email (if applicable)

UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REGION 2
290 BROADWAY
NEW YORK, NY 10007-1866
(212) 637-3000
<https://www.epa.gov/aboutepa/epa-region-2>

RESTORATION PLAN AGREEMENT FORM

The purpose of this agreement is to provide a mutual agreement as to the removal and restoration activities on your property and to document the condition of the property prior to remediation activities. This will also serve as documentation for the purpose of assuring that restoration activities are completed to the satisfaction of the property owner and the United States Environmental Protection Agency (EPA) for the Kil-Tone Remedial Action Superfund Site Operable Unit 2-Phase I, Vineland, New Jersey.

EPA Property ID: 210
Property Address: S. East Blvd & E. Cherry Street (Median), Block 3918, Lot 1
Property Owner(s): City of Vineland
Tenant(s) residing at the address (if different than owner) and contact information: Vacant
Property Owner Contact Information (Phone Number, E-mail, Alt. Address): Contacts: Bob Dickenson, Richard Tonetta & Greg Gallo (856)794-4000

General Clauses

Remedial and restoration activities will be conducted in accordance with the following provisions:

- All restoration items will be replaced in kind otherwise documented within this restoration agreement. Restoration items that do not meet current City of Vineland code enforcement are requested to be code compliant, if possible, and approved by property owner.
- Only government-authorized personnel will be permitted to perform work on the property during the remedial and restoration activities
- Excavation boundaries are subject to change based on confirmation sampling results.
- To aid with final site grading during restoration, SES requests information on any water infiltration, current or past, into the home or business (e.g., wet basement).
- SES requests information on any known sprinkler systems and underground electric lines in the yard and if they are currently operational?
- All trees, shrubs and plants will be photo documented and identified by professional landscaper prior to removal for eventual in-kind restoration. Planting type and size will be based upon nursery availability. In the event that the same plant replacement is unavailable, the homeowner will be contacted for their input on an acceptable equivalent replacement before proceeding with restoration.
- The landscaping subcontractor will water restored plants/sod/hydroseed at the time of placement and as needed for a period of 3 months or until plantings are dormant, whichever occurs first. Sod/hydroseed will also be maintained (e.g., watered and cut) by the landscaping subcontractor for a period of 3 months. It will then become the resident's responsibility to maintain the restored planting. Plant warranties are good for a period of 1 year while grass is warranted for a period of 3 months.
- If the property owner chooses to relocate, change, upgrade any restoration items, or otherwise makes improvements within areas affected by the remediation activities, and those changes are not mentioned or discussed in this agreement, any change or damage that occurs as results is the liability and responsibility of the property owner. This is true during the implementation of remedial and restoration activities, as well as during any subsequent warranty periods.
- If the owner or resident has questions or concerns, he or she should contact a member of the Property Coordination Team:

Dan Patel (USEPA): 212-637-3924

Alan White (USEPA): 212-637-3925

Luis Hiciano (USACE): 267-608-7809

Michael Cox (USACE): 609-929-0384

Jesse Albert (Sevenson Environmental): 484-274-1372

Background

This section includes property information that was obtained from investigations and sampling activities

Exterior Property Investigation Findings

(Use additional sheets as necessary)

<p>Item: An estimated 88.28 CY of contaminated soils to be removed from the property. Please see attached contract drawings for confirmed areas of excavation. It is noted that this is a minimum remediation quantity. Confirmation sampling may warrant additional remediation which the property owner will be informed of prior to any additional remediation.</p>
<p>Item: An exterior photo and video survey will be completed on this property prior to excavation activities. -The photos and video documentation of the exterior conducted by the remediation contractor on behalf of the EPA will become an integral part of this restoration agreement to document pre-remedial conditions. -The property owner or its representative will have the opportunity to witness the photo and video documentation of the pre-remedial condition of the exterior of the property.</p>
<p>Additional Exterior Information:</p>

Interior Property Investigation Findings

(Use additional sheets as necessary)

- Restoration plans for each property will be created by the EPA contractor. The remediation contractor will adhere to the construction specifications established for the Kil-Tone Remedial Action Superfund Site-OU2 Phase I.

<p>Item: N/A</p>
<p>Additional Interior Information:</p>

Additional Business Information (if applicable):
(Use additional sheets as necessary)

Hours of Business:

Day/time of reoccurring deliveries:

Other Important Notes:

Items to be removed by the owner before the start of remediation activities*:
(Use additional sheets as necessary)

Items:
-SES to provide disposal of unwanted items located within the excavation area

** The removal, storage, disposal, and/or return of these items are the owner's responsibility. Severson will assist if requested.*

Items to be removed by the contractor during remediation activities and NOT REPLACED:
(Use additional sheets as necessary)

Item:
-N/A

Items to be removed by the contractor during remediation activities and REPLACED:

(Use additional sheets as necessary Include references to applicable drawings, cut sheets, figures, product selections, etc.)

Item:
-Low maintenance region appropriate sod to be used as replacement in grass areas, approximately 3,218 Sq. Ft. as noted on the restoration drawing.

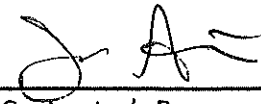
Additional Comments/Special Instructions

- All restoration work will be completed in compliance with US Army Corps of Engineers Requirements.
- Work will be performed as shown within this Restoration Plan and associated attached drawings.
- Some additional tree restoration outside of but in close proximity to remediation areas may be needed if trees are unexpectedly impacted by remedial operations.
- SES will utilize protective equipment mats to limit areas of disturbance outside remediation areas. Any disturbance areas will be restored to original conditions.
- A Security subcontractor will complete rounds during non-working hours to help ensure excavation areas are safe and secure.
- SES to coordinate remediation activities with Conrail

I acknowledge that I have reviewed this Restoration Agreement and the attached Exterior Remediation and Restoration Plan(s) for the property located at the address referenced on the first page. I, _____, hereby certify that the information provided by me in this agreement is to the best of my knowledge true, accurate, and complete. I agree to the removal and restoration of my property as outlined in this agreement

Owner's Signature

DATE



7/17/2024

Contractor's Representative Signature

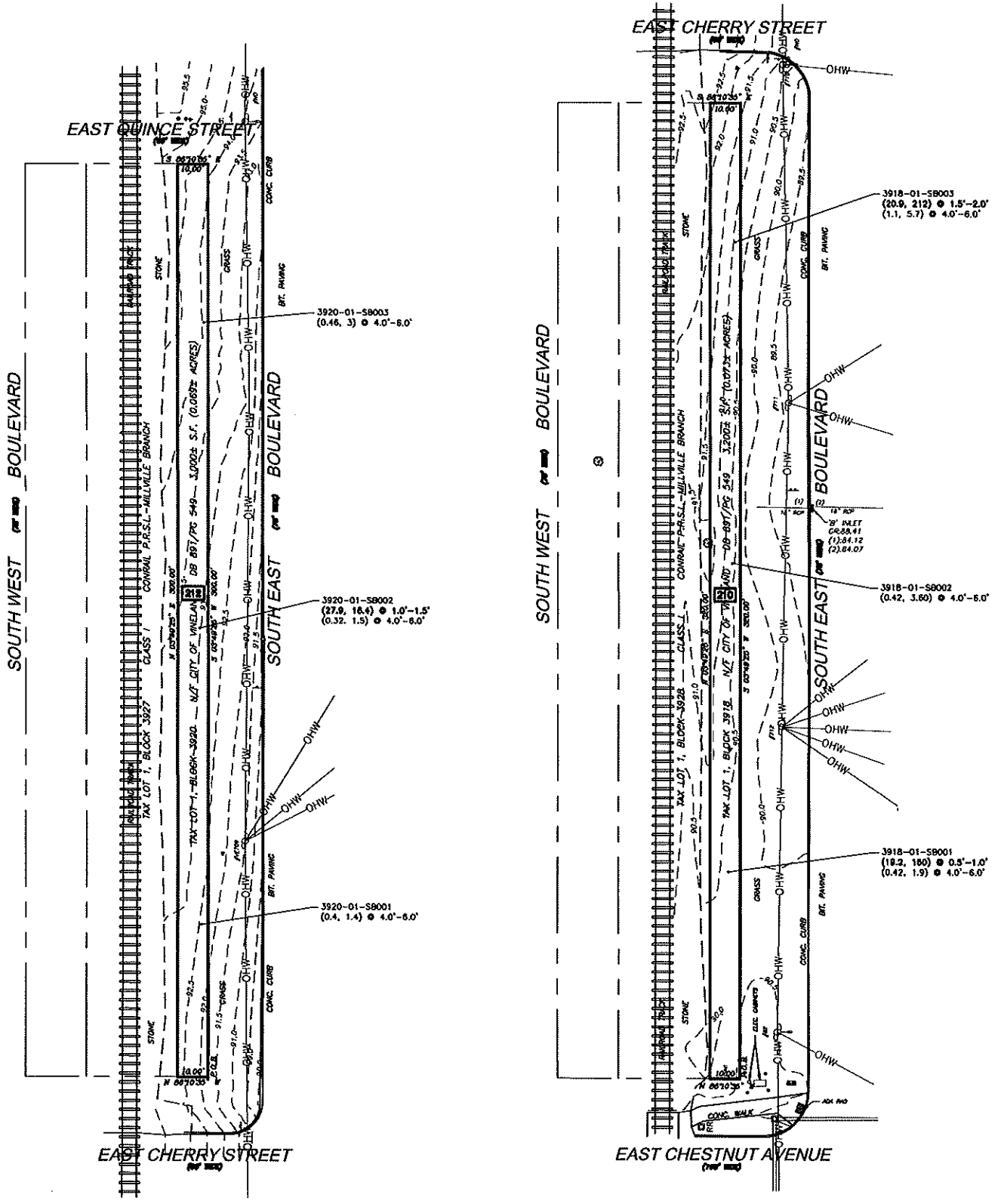
DATE



7/17/2024

USACE Representative Signature

DATE



PROPERTY 210-212
SOIL BORING LOCATIONS

ID#	Y-NORTHING	X-EASTING
3918-01-SB001	235703 99	343518 00
3918-01-SB002	235605 00	343528 00
3918-01-SB003	235609 99	343534 00
3920-01-SB001	236072 99	343645 00
3920-01-SB002	236170 00	343551 00
3920-01-SB003	236270 00	343559 00



US Army Corps
of Engineers *
Kansas City District

Professional Seal and Stamp of the Engineer/Professional Engineer for the State of New Jersey, City of Kansas.

A. FINAL ISSUE DESIGN

DATE	9/22
DESIGNED BY	
CHECKED BY	
DATE	
DESIGNED BY	
CHECKED BY	
DATE	
DESIGNED BY	
CHECKED BY	
DATE	
DESIGNED BY	
CHECKED BY	
DATE	

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

HDR OBG a joint venture
C. ANGYAL

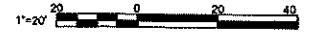
DESIGNED BY: T. STANLEY
CHECKED BY: C. ANGYAL

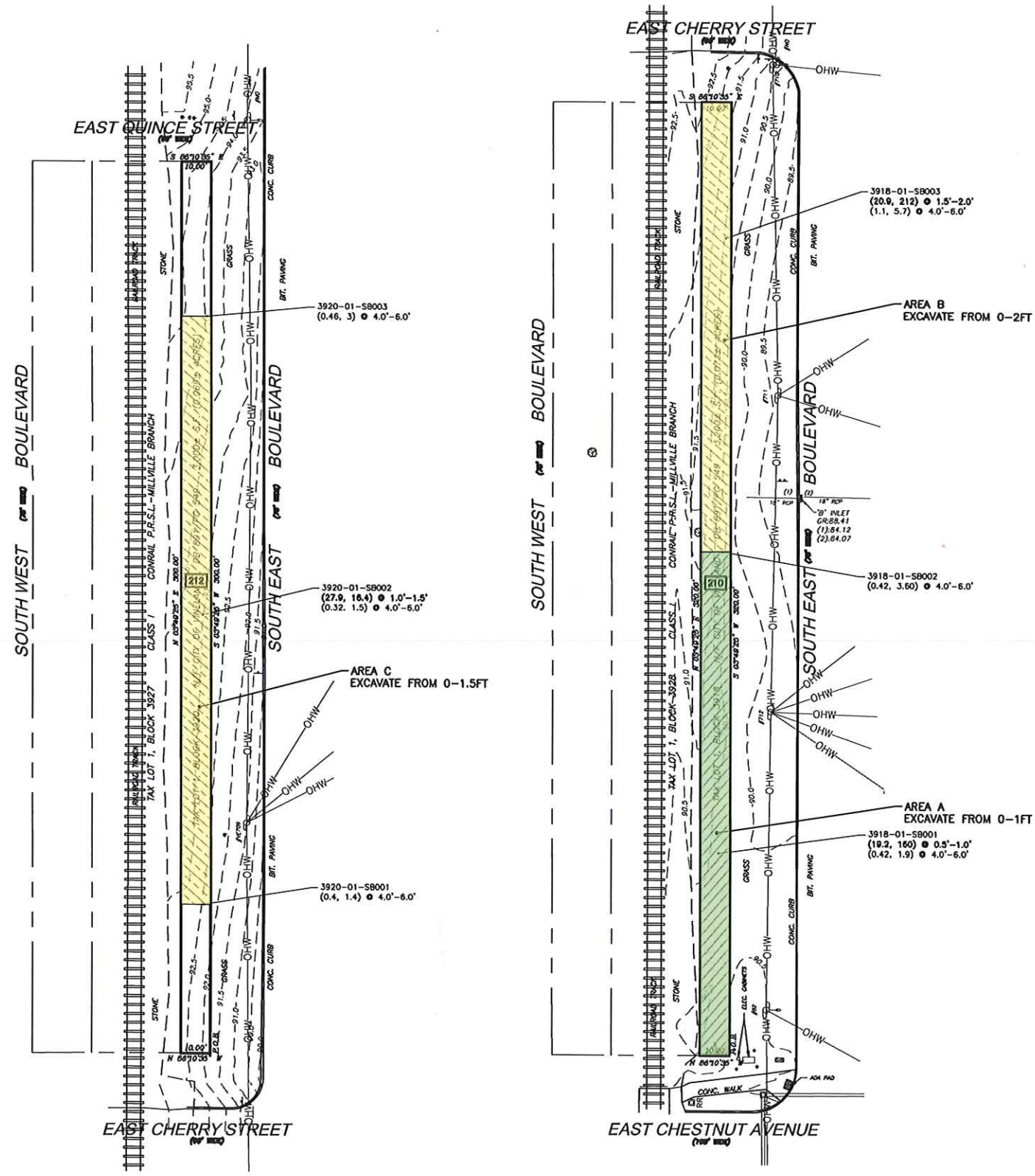
DATE: SEPTEMBER 2022
DRAWING TITLE: PROPERTY 210-212 EXISTING CONDITIONS PLAN

FORMER KIL-TONE SUPERFUND SITE OUZ
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 210-212 EXISTING
CONDITIONS PLAN

Sheet
Reference
Number:
C-004A





PROPERTY 210-212
VOLUME OF EXCAVATION

AREA	SO FT	VOLUME (CY)
A	1691	63
B	1509	112
C	1975	110
TOTAL VOLUME=		285

- LEGEND
- UP TO 1-FT DEPTH OF EXCAVATION
 - UP TO 2-FT DEPTH OF EXCAVATION
 - UP TO 3-FT DEPTH OF EXCAVATION
 - UP TO 4-FT DEPTH OF EXCAVATION
 - UP TO 5-FT DEPTH OF EXCAVATION
 - UP TO 6-FT DEPTH OF EXCAVATION
 - UP TO 8-FT DEPTH OF EXCAVATION
 - UP TO 11-FT DEPTH OF EXCAVATION

- NOTES:
- RESTORE ALL EXCAVATED OR OTHERWISE DISTURBED AREAS TO PRE-EXISTING SURFACES AND GRADES.
 - REMOVE AND REPLACE EXISTING TREES AND SHRUBS WHERE SHOWN OR AS NECESSARY TO PERFORM EXCAVATION.
 - PROVIDE REPLACEMENT TREES AND SHRUBS OF SAME SPECIES AS REMOVED UNLESS OTHERWISE DIRECTED.
 - CONTRACTOR SHALL COORDINATE WITH CSX/CONRAIL TO SECURE RIGHT-OF-ACCESS AND ASSOCIATED CONSTRUCTION AGREEMENTS IF APPLICABLE.



US Army Corps of Engineers
Kansas City District

STATE OF NEW JERSEY
PROFESSIONAL ENGINEER No. 0246405

Symbol	Description	Date	Appr.
A	FINAL LOGS DESIGN	9/22	

U.S. ARMY CORPS OF ENGINEERS
DISTRICT OFFICE
KANSAS CITY, MISSOURI

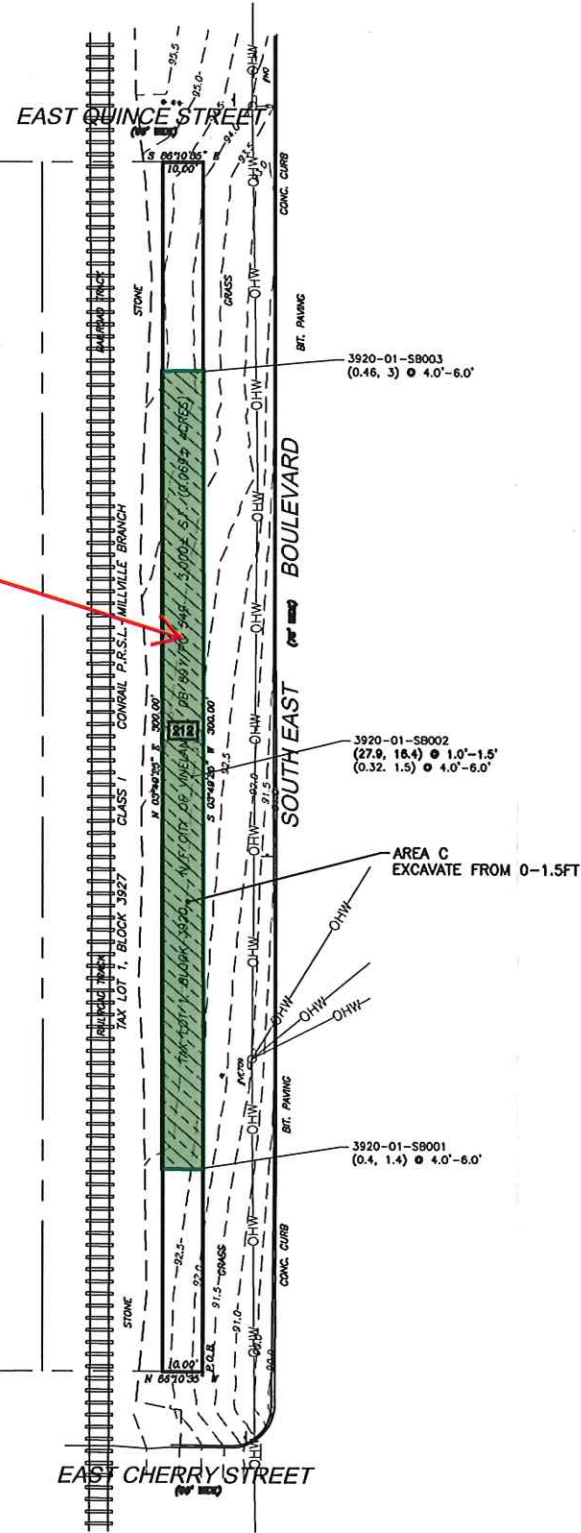
HDR OBG a joint venture

FORMER MIL-TONE SUPERFUND SITE 002
VINELAND, CUMBERLAND COUNTY, NEW JERSEY
PROPERTY 210-212 EXCAVATION PLAN

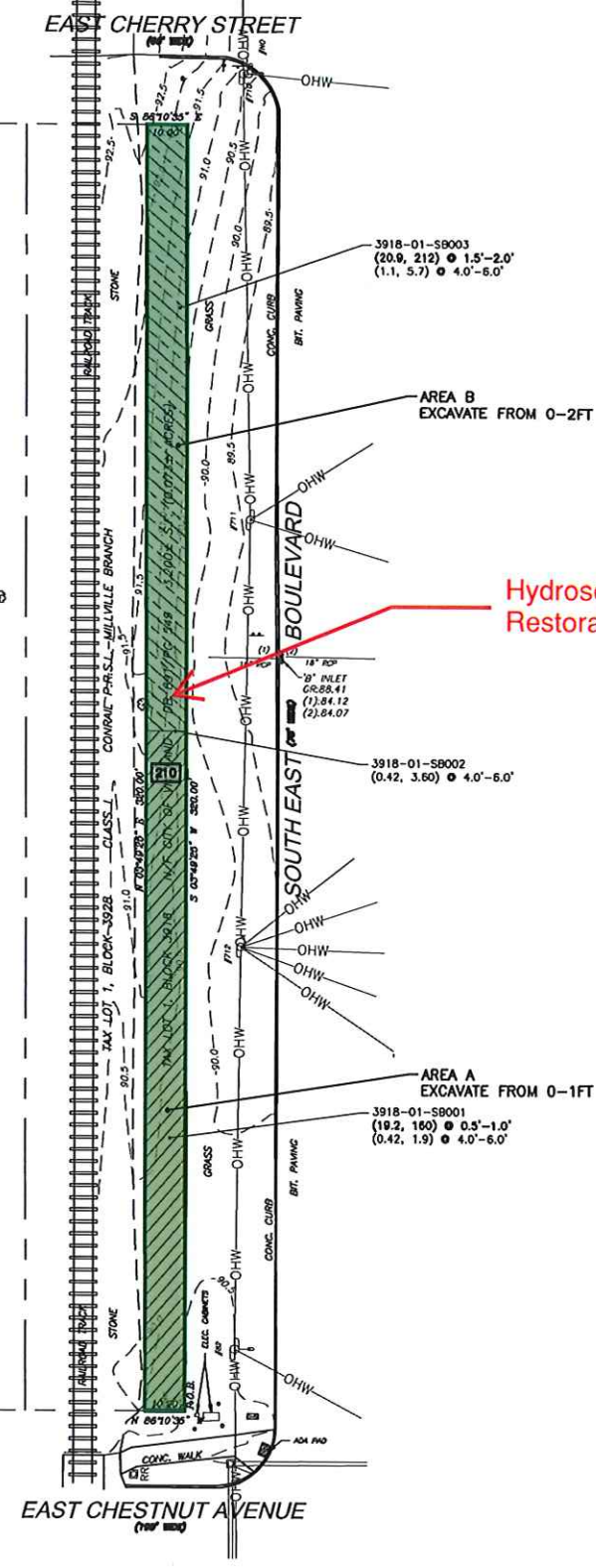
Sheet Reference Number:
C-004B

Hydroseed Restoration

SOUTH WEST BOULEVARD



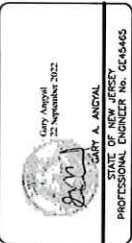
SOUTH WEST BOULEVARD



Hydroseed Restoration



PROPERTY 210-212		
VOLUME OF EXCAVATION		
AREA	SO FT	VOLUME (CY)
A	1691	63
B	1509	112
C	1975	110
TOTAL VOLUME=		285



Symbol	Description	Date	Appr.
A	FINAL DISE DESIGN	9/22	

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY, MISSOURI

Prepared by: C. WOLF
Checked by: T. STANICE
Submitted by: C. ANDVAL

Date: SEPTEMBER 2022
Drawing code:
Plot model: CAD File Name: 14420-72843

HDR OBG a joint venture

FORMER MIL-TONE SUPERFUND SITE OUZ
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 210-212 EXCAVATION PLAN

Sheet Reference Number:
C-004B



UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REGION 2
290 BROADWAY
NEW YORK, NY 10007-1866
(212) 637-3000
<https://www.epa.gov/aboutepa/epa-region-2>

RESTORATION PLAN AGREEMENT FORM

The purpose of this agreement is to provide a mutual agreement as to the removal and restoration activities on your property and to document the condition of the property prior to remediation activities. This will also serve as documentation for the purpose of assuring that restoration activities are completed to the satisfaction of the property owner and the United States Environmental Protection Agency (EPA) for the Kil-Tone Remedial Action Superfund Site Operable Unit 2-Phase I, Vineland, New Jersey.

EPA Property ID: 212
Property Address: S. East Blvd & E. Cherry Street (Median), Block 3920, Lot 1
Property Owner(s): City of Vineland
Tenant(s) residing at the address (if different than owner) and contact information: Vacant
Property Owner Contact Information (Phone Number, E-mail, Alt. Address): Contacts: Bob Dickenson, Richard Tonetta & Greg Gallo (856)794-4000

General Clauses

Remedial and restoration activities will be conducted in accordance with the following provisions:

- All restoration items will be replaced in kind otherwise documented within this restoration agreement. Restoration items that do not meet current City of Vineland code enforcement are requested to be code compliant, if possible, and approved by property owner.
- Only government-authorized personnel will be permitted to perform work on the property during the remedial and restoration activities
- Excavation boundaries are subject to change based on confirmation sampling results.
- To aid with final site grading during restoration, SES requests information on any water infiltration, current or past, into the home or business (e.g., wet basement).
- SES requests information on any known sprinkler systems and underground electric lines in the yard and if they are currently operational?
- All trees, shrubs and plants will be photo documented and identified by professional landscaper prior to removal for eventual in-kind restoration. Planting type and size will be based upon nursery availability. In the event that the same plant replacement is unavailable, the homeowner will be contacted for their input on an acceptable equivalent replacement before proceeding with restoration.
- The landscaping subcontractor will water restored plants/sod/hydroseed at the time of placement and as needed for a period of 3 months or until plantings are dormant, whichever occurs first. Sod/hydroseed will also be maintained (e.g., watered and cut) by the landscaping subcontractor for a period of 3 months. It will then become the resident's responsibility to maintain the restored planting. Plant warranties are good for a period of 1 year while grass is warranted for a period of 3 months.
- If the property owner chooses to relocate, change, upgrade any restoration items, or otherwise makes improvements within areas affected by the remediation activities, and those changes are not mentioned or discussed in this agreement, any change or damage that occurs as results is the liability and responsibility of the property owner. This is true during the implementation of remedial and restoration activities, as well as during any subsequent warranty periods.
- If the owner or resident has questions or concerns, he or she should contact a member of the Property Coordination Team:

Dan Patel (USEPA): 212-637-3924

Alan White (USEPA): 212-637-3925

Luis Hiciano (USACE): 267-608-7809

Michael Cox (USACE): 609-929-0384

Jesse Albert (Sevenson Environmental): 484-274-1372

Background

This section includes property information that was obtained from investigations and sampling activities

Exterior Property Investigation Findings

(Use additional sheets as necessary)

Item: An estimated 88.28 CY of contaminated soils to be removed from the property. Please see attached contract drawings for confirmed areas of excavation. It is noted that this is a minimum remediation quantity. Confirmation sampling may warrant additional remediation which the property owner will be informed of prior to any additional remediation.

Item: An exterior photo and video survey will be completed on this property prior to excavation activities.
-The photos and video documentation of the exterior conducted by the remediation contractor on behalf of the EPA will become an integral part of this restoration agreement to document pre-remedial conditions.
-The property owner or its representative will have the opportunity to witness the photo and video documentation of the pre-remedial condition of the exterior of the property.

Additional Exterior Information:

Interior Property Investigation Findings

(Use additional sheets as necessary)

- Restoration plans for each property will be created by the EPA contractor. The remediation contractor will adhere to the construction specifications established for the Kil-Tone Remedial Action Superfund Site-OU2 Phase I.

Item: N/A

Additional Interior Information:

Additional Business Information (if applicable):

(Use additional sheets as necessary)

Hours of Business:

Day/time of reoccurring deliveries:

Other Important Notes:

Items to be removed by the owner before the start of remediation activities*:
(Use additional sheets as necessary)

Items:
-SES to provide disposal of unwanted items located within the excavation area

** The removal, storage, disposal, and/or return of these items are the owner's responsibility. Severson will assist if requested.*

Items to be removed by the contractor during remediation activities and NOT REPLACED:
(Use additional sheets as necessary)

Item:
-N/A

Items to be removed by the contractor during remediation activities and REPLACED:
(Use additional sheets as necessary Include references to applicable drawings, cut sheets, figures, product selections, etc.)

Item:

-Low maintenance region appropriate sod to be used as replacement in grass areas, approximately 2,039 Sq. Ft. as noted on the restoration drawing.

Additional Comments/Special Instructions

- All restoration work will be completed in compliance with US Army Corps of Engineers Requirements.
- Work will be performed as shown within this Restoration Plan and associated attached drawings.
- Some additional tree restoration outside of but in close proximity to remediation areas may be needed if trees are unexpectedly impacted by remedial operations.
- SES will utilize protective equipment mats to limit areas of disturbance outside remediation areas. Any disturbance areas will be restored to original conditions.
- A Security subcontractor will complete rounds during non-working hours to help ensure excavation areas are safe and secure.
- SES to coordinate remediation activities with Conrail

I acknowledge that I have reviewed this Restoration Agreement and the attached Exterior Remediation and Restoration Plan(s) for the property located at the address referenced on the first page. I, _____, hereby certify that the information provided by me in this agreement is to the best of my knowledge true, accurate, and complete. I agree to the removal and restoration of my property as outlined in this agreement

Owner's Signature

DATE



7/17/2024

Contractor's Representative Signature

DATE

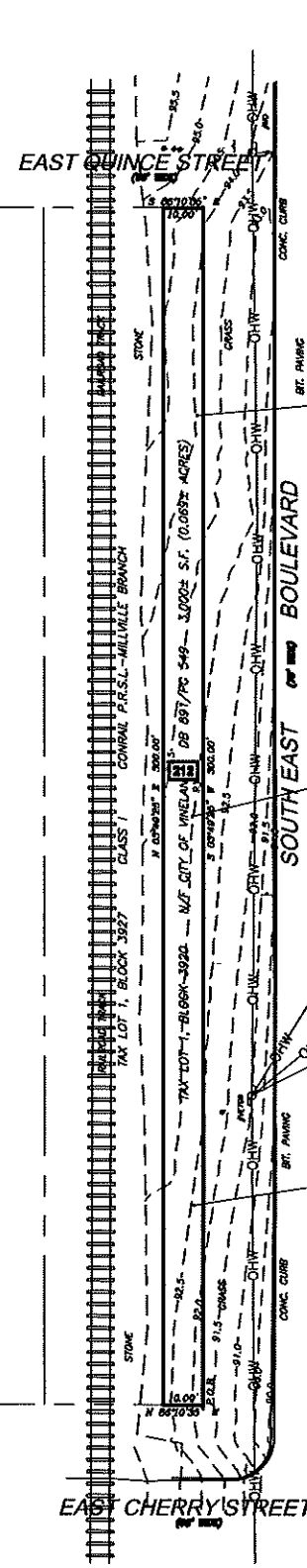


7/17/2024

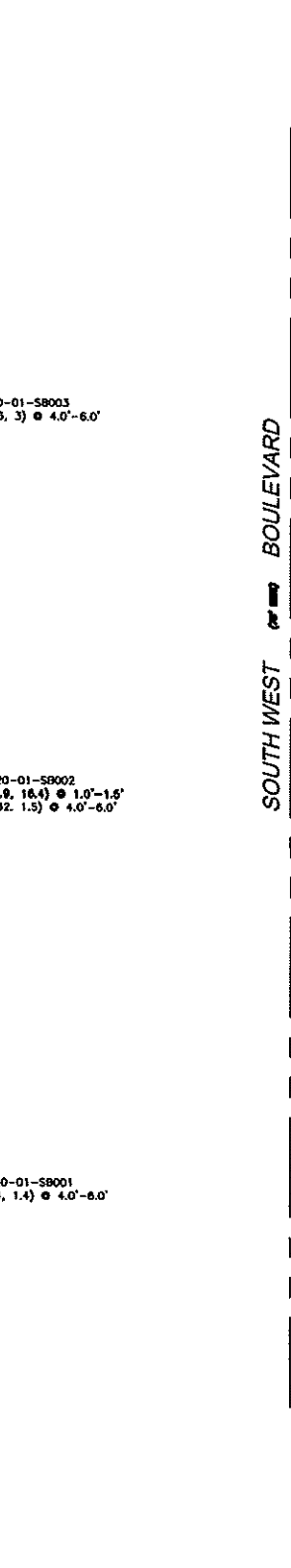
USACE Representative Signature

DATE

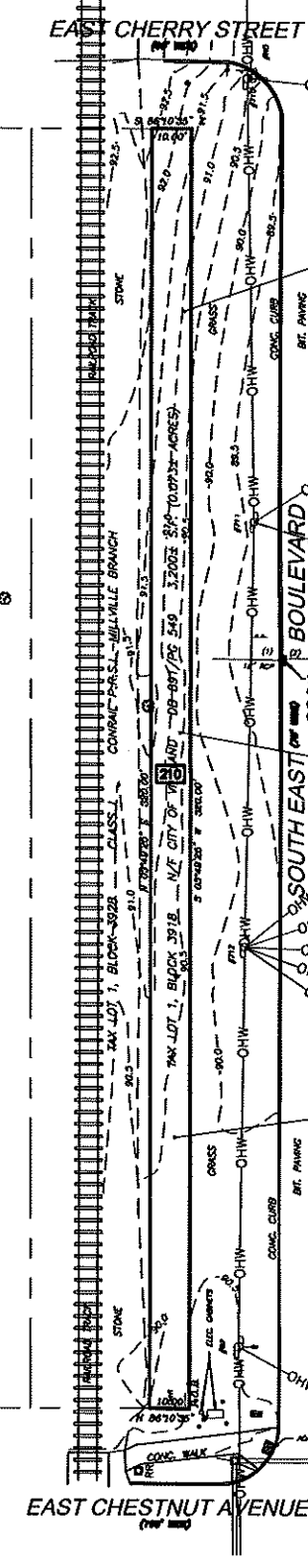
SOUTH WEST BOULEVARD



SOUTH EAST BOULEVARD



SOUTH WEST BOULEVARD



PROPERTY 210-212
SOL BORING LOCATIONS

ID#	Y-NORTHING	X-EASTING
3918-01-SB001	235703.99	343518.00
3918-01-SB002	235805.00	343526.00
3918-01-SB003	235909.99	343534.00
3920-01-SB001	236072.99	343545.00
3920-01-SB002	236170.00	343551.00
3920-01-SB003	236270.00	343559.00



US Army Corps
of Engineers
Kansas City District

STATE OF NEW JERSEY
PROFESSIONAL ENGINEER No. 02-04-040

Date	Description	Drawn by
9/22		

DESIGNED BY: DATE: 2/27/2002
C. WOLF 2/27/2002
DRAWING CODE: 14-02-0143

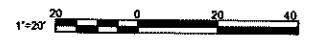
U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

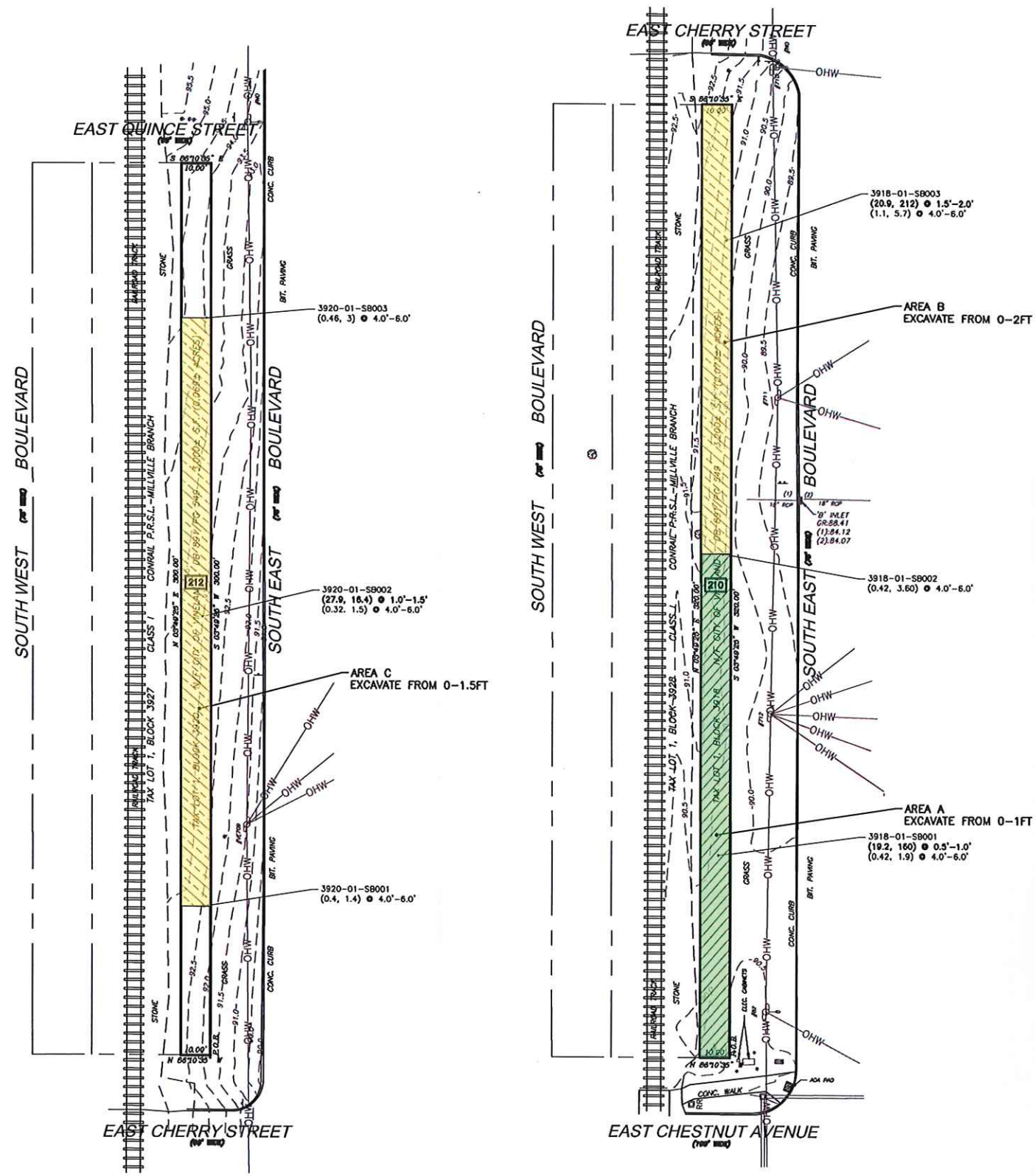
HDR OBG a joint venture

FORMER KIL-TONE SUPERFUND SITE 012
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 210-212 EXISTING
CONDITIONS PLAN

Sheet
Reference
Number:
C-004A





PROPERTY 210-212
VOLUME OF EXCAVATION

AREA	SQ. FT.	VOLUME (CY)
A	1891	63
B	1509	112
C	1975	110
TOTAL VOLUME=		285

- LEGEND:
- UP TO 1-FT DEPTH OF EXCAVATION
 - UP TO 2-FT DEPTH OF EXCAVATION
 - UP TO 3-FT DEPTH OF EXCAVATION
 - UP TO 4-FT DEPTH OF EXCAVATION
 - UP TO 5-FT DEPTH OF EXCAVATION
 - UP TO 6-FT DEPTH OF EXCAVATION
 - UP TO 8-FT DEPTH OF EXCAVATION
 - UP TO 11-FT DEPTH OF EXCAVATION

- NOTES:
- RESTORE ALL EXCAVATED OR OTHERWISE DISTURBED AREAS TO PRE-EXISTING SURFACES AND GRADES.
 - REMOVE AND REPLACE EXISTING TREES AND SHRUBS WHERE SHOWN OR AS NECESSARY TO PERFORM EXCAVATION.
 - PROVIDE REPLACEMENT TREES AND SHRUBS OF SAME SPECIES AS REMOVED UNLESS OTHERWISE DIRECTED.
 - CONTRACTOR SHALL COORDINATE WITH CSX/CONRAIL TO SECURE RIGHT-OF-ACCESS AND ASSOCIATED CONSTRUCTION AGREEMENTS IF APPLICABLE.



STATE OF NEW JERSEY
PROFESSIONAL ENGINEER No. 02-04465

Symbol	Description	Date	Appr.
A	FINAL LOGS DESIGN	9/22	

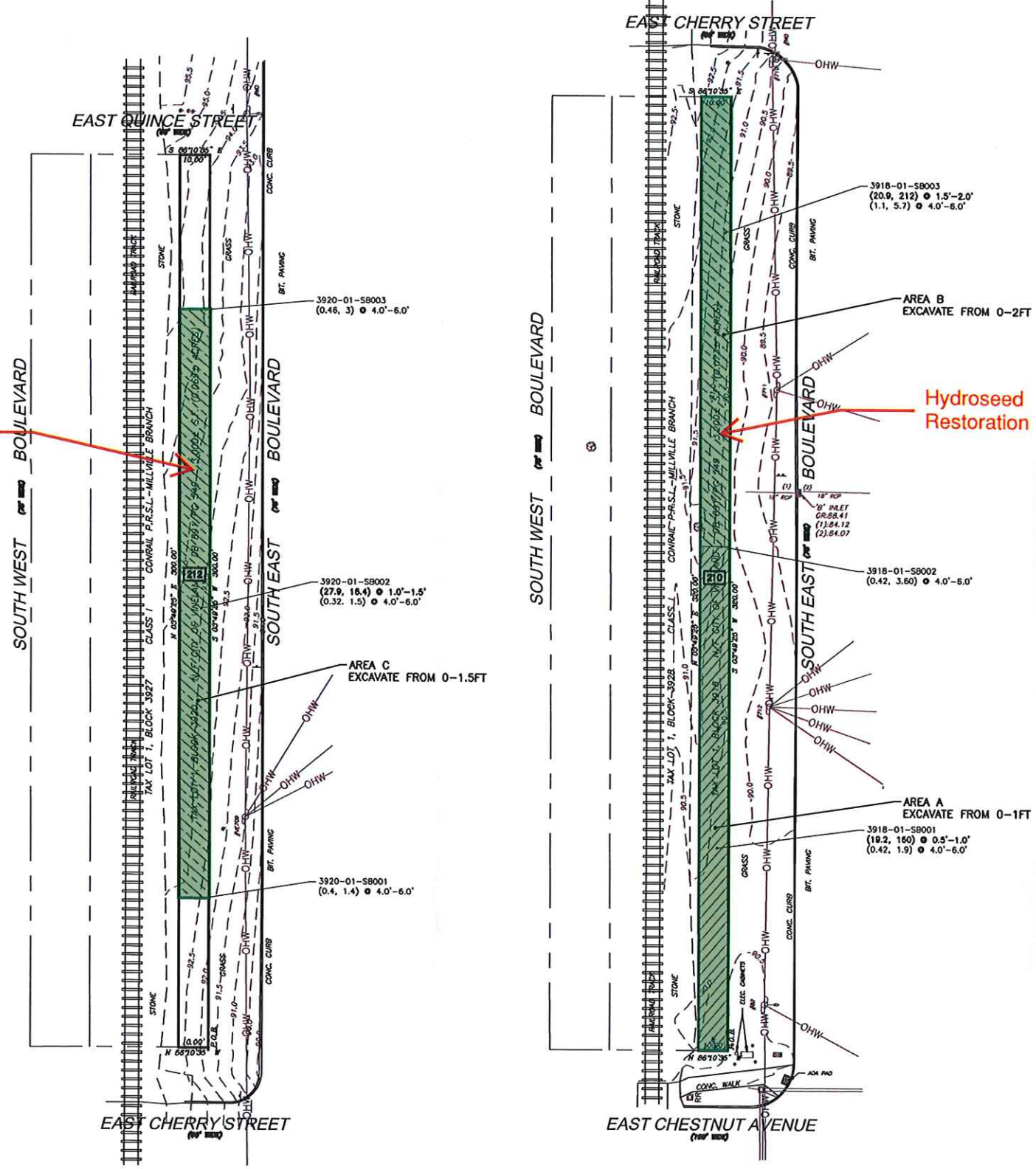
U.S. ARMY CORPS OF ENGINEERS DISTRICT OFFICE KANSAS CITY, MISSOURI
 HDR OBG a joint venture
 CONVENED BY: GARY A. ANTONAL
 DESIGNED BY: GARY A. ANTONAL
 DRAWN BY: GARY A. ANTONAL
 CHECKED BY: GARY A. ANTONAL
 DATE: SEPTEMBER 2022
 DRAINAGE CODE: 14420.73843

FORMER KIL-TONE SUPERFUND SITE 002 VINELAND, CUMBERLAND COUNTY, NEW JERSEY
 PROPERTY 210-212 EXCAVATION PLAN

Sheet Reference Number: C-004B
 SHEET 21 OF 104

Hydroseed Restoration

Hydroseed Restoration



PROPERTY 210-212
VOLUME OF EXCAVATION

AREA	SQ. FT.	VOLUME (CY)
A	1891	63
B	1509	112
C	1975	110
TOTAL VOLUME=		285



US Army Corps of Engineers
Kansas City District

Rev.	Description	Date	Appr.
A	FINAL 100% DESIGN	3/22	

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

HDR OBG a joint venture

FORMER KIL-TONE SUPERFUND SITE 012
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 210-212 EXCAVATION PLAN

Sheet Reference Number:
C-004B

SHEET 21 OF 104

UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REGION 2
290 BROADWAY
NEW YORK, NY 10007-1866
(212) 637-3000
<https://www.epa.gov/aboutepa/epa-region-2>

RESTORATION PLAN AGREEMENT FORM

The purpose of this agreement is to provide a mutual agreement as to the removal and restoration activities on your property and to document the condition of the property prior to remediation activities. This will also serve as documentation for the purpose of assuring that restoration activities are completed to the satisfaction of the property owner and the United States Environmental Protection Agency (EPA) for the Kil-Tone Remedial Action Superfund Site Operable Unit 2-Phase I, Vineland, New Jersey.

EPA Property ID: 231
Property Address: 519 E. Quince St. Vineland NJ 08360, Block 4109, Lot 6
Property Owner(s): City of Vineland
Tenant(s) residing at the address (if different than owner) and contact information: Vacant
Property Owner Contact Information (Phone Number, E-mail, Alt. Address): Contacts: Bob Dickenson, Richard Tonetta & Greg Gallo (856)794-4000

General Clauses

Remedial and restoration activities will be conducted in accordance with the following provisions:

- All restoration items will be replaced in kind otherwise documented within this restoration agreement. Restoration items that do not meet current City of Vineland code enforcement are requested to be code compliant, if possible, and approved by property owner.
- Only government-authorized personnel will be permitted to perform work on the property during the remedial and restoration activities
- Excavation boundaries are subject to change based on confirmation sampling results.
- To aid with final site grading during restoration, SES requests information on any water infiltration, current or past, into the home or business (e.g., wet basement).
- SES requests information on any known sprinkler systems and underground electric lines in the yard and if they are currently operational?
- All trees, shrubs and plants will be photo documented and identified by professional landscaper prior to removal for eventual in-kind restoration. Planting type and size will be based upon nursery availability. In the event that the same plant replacement is unavailable, the homeowner will be contacted for their input on an acceptable equivalent replacement before proceeding with restoration.
- The landscaping subcontractor will water restored plants/sod/hydroseed at the time of placement and as needed for a period of 3 months or until plantings are dormant, whichever occurs first. Sod/hydroseed will also be maintained (e.g., watered and cut) by the landscaping subcontractor for a period of 3 months. It will then become the resident's responsibility to maintain the restored planting. Plant warranties are good for a period of 1 year while grass is warranted for a period of 3 months.
- If the property owner chooses to relocate, change, upgrade any restoration items, or otherwise makes improvements within areas affected by the remediation activities, and those changes are not mentioned or discussed in this agreement, any change or damage that occurs as results is the liability and responsibility of the property owner. This is true during the implementation of remedial and restoration activities, as well as during any subsequent warranty periods.
- If the owner or resident has questions or concerns, he or she should contact a member of the Property Coordination Team:

Dan Patel (USEPA): 212-637-3924

Alan White (USEPA): 212-637-3925

Luis Hiciano (USACE): 267-608-7809

Michael Cox (USACE): 609-929-0384

Jesse Albert (Sevenson Environmental): 484-274-1372

Background

This section includes property information that was obtained from investigations and sampling activities

Exterior Property Investigation Findings

(Use additional sheets as necessary)

Item: An estimated 88.28 CY of contaminated soils to be removed from the property. Please see attached contract drawings for confirmed areas of excavation. It is noted that this is a minimum remediation quantity. Confirmation sampling may warrant additional remediation which the property owner will be informed of prior to any additional remediation.

Item: An exterior photo and video survey will be completed on this property prior to excavation activities.
-The photos and video documentation of the exterior conducted by the remediation contractor on behalf of the EPA will become an integral part of this restoration agreement to document pre-remedial conditions.
-The property owner or its representative will have the opportunity to witness the photo and video documentation of the pre-remedial condition of the exterior of the property.

Additional Exterior Information:

Interior Property Investigation Findings

(Use additional sheets as necessary)

- Restoration plans for each property will be created by the EPA contractor. The remediation contractor will adhere to the construction specifications established for the Kil-Tone Remedial Action Superfund Site-OU2 Phase I.

Item: N/A

Additional Interior Information:

Additional Business Information (if applicable):
(Use additional sheets as necessary)

Hours of Business:

Day/time of reoccurring deliveries:

Other Important Notes:

Items to be removed by the owner before the start of remediation activities*:
(Use additional sheets as necessary)

Items:
-SES to provide disposal of unwanted items located within the excavation area

** The removal, storage, disposal, and/or return of these items are the owner's responsibility. Severson will assist if requested.*

Items to be removed by the contractor during remediation activities and NOT REPLACED:
(Use additional sheets as necessary)

Item:
-N/A

Items to be removed by the contractor during remediation activities and REPLACED:

(Use additional sheets as necessary Include references to applicable drawings, cut sheets, figures, product selections, etc.)

Item:

-All areas remediated will be backfilled with clean fill and topped with 6" of ¾ clean stone per contract drawing notes. An estimated 7,497 Square Feet of ¾ clean stone to be placed.

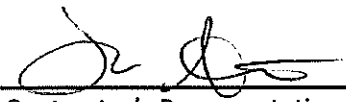
Additional Comments/Special Instructions

- All restoration work will be completed in compliance with US Army Corps of Engineers Requirements.
- Work will be performed as shown within this Restoration Plan and associated attached drawings.
- Some additional tree restoration outside of but in close proximity to remediation areas may be needed if trees are unexpectedly impacted by remedial operations.
- SES will utilize protective equipment mats to limit areas of disturbance outside remediation areas. Any disturbance areas will be restored to original conditions.
- A Security subcontractor will complete rounds during non-working hours to help ensure excavation areas are safe and secure.

I acknowledge that I have reviewed this Restoration Agreement and the attached Exterior Remediation and Restoration Plan(s) for the property located at the address referenced on the first page. I, _____, hereby certify that the information provided by me in this agreement is to the best of my knowledge true, accurate, and complete. I agree to the removal and restoration of my property as outlined in this agreement

Owner's Signature

DATE



7/17/2024

Contractor's Representative Signature

DATE

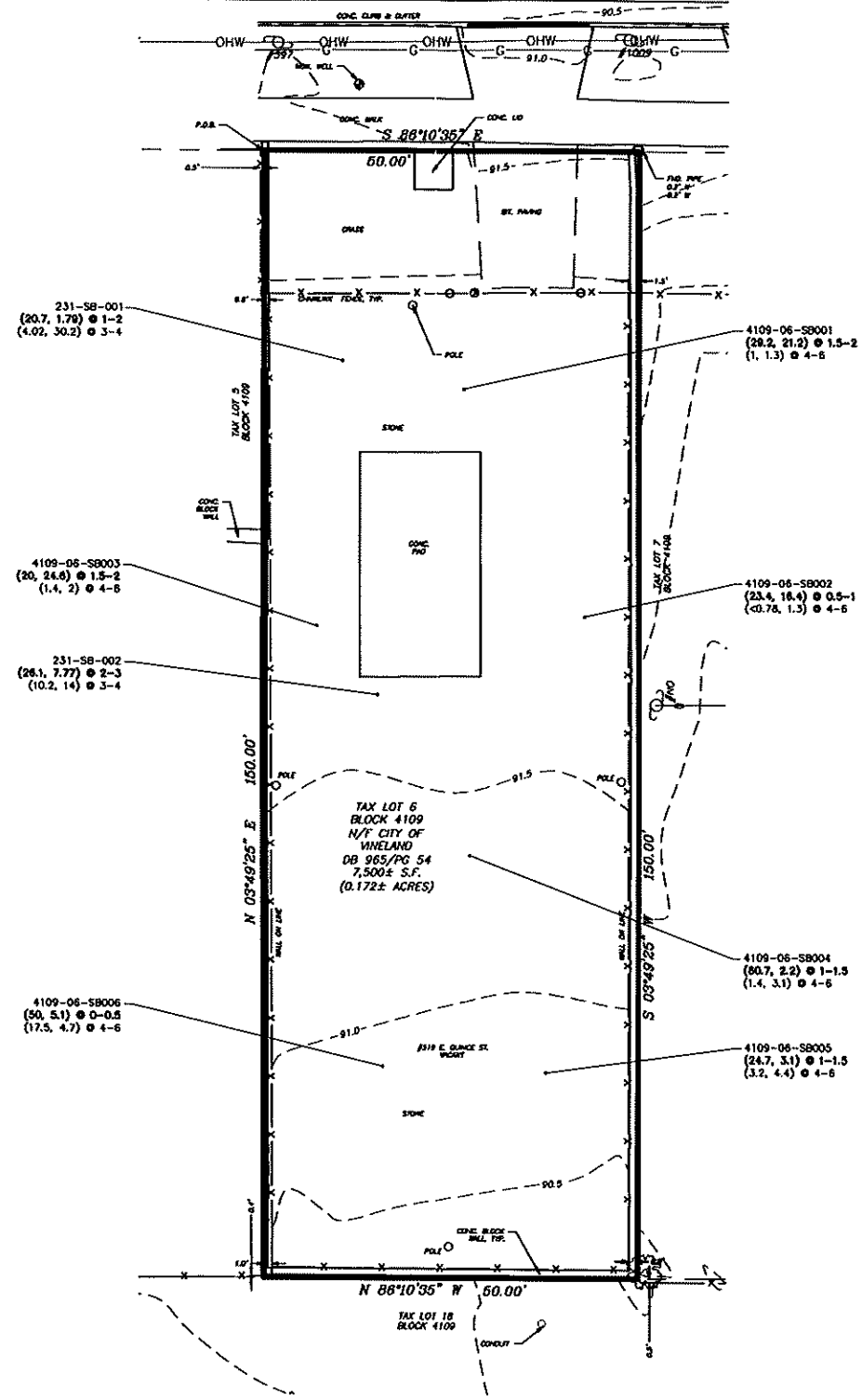


7/17/2024

USACE Representative Signature

DATE

EAST QUINCE STREET
(66' WIDE)



PROPERTY 231
8519 E. QUINCE STREET
SOIL BORING LOCATIONS

ID#	Y-NORTHING	X-EASTING
231-SB-001	236266.19	343948.11
231-SB-002	236223.48	343947.77
4109-06-SB001	236263.33	343961.67
4109-06-SB002	236292.03	343976.06
4109-06-SB003	236233.17	343940.28
4109-06-SB004	236201.28	343956.65
4109-06-SB005	236171.81	343966.86
4109-06-SB006	236174.06	343946.18



US Army Corps of Engineers
Kansas City District

State of New Jersey
Professional Engineer No. 06-04845

Symbol	Description	Date	Revised
A	FINAL LOGS DESIGN	9/22	

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

HDR OBG a joint venture

Prepared by: C. WELF
Checked by: T. STANLEY
Submitted by: C. WELF

Date: SEPTEMBER 2022
Drawing code: C400 File Name: 14420-278-03

FORMER MIL-TONE SUPERFUND SITE 022
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

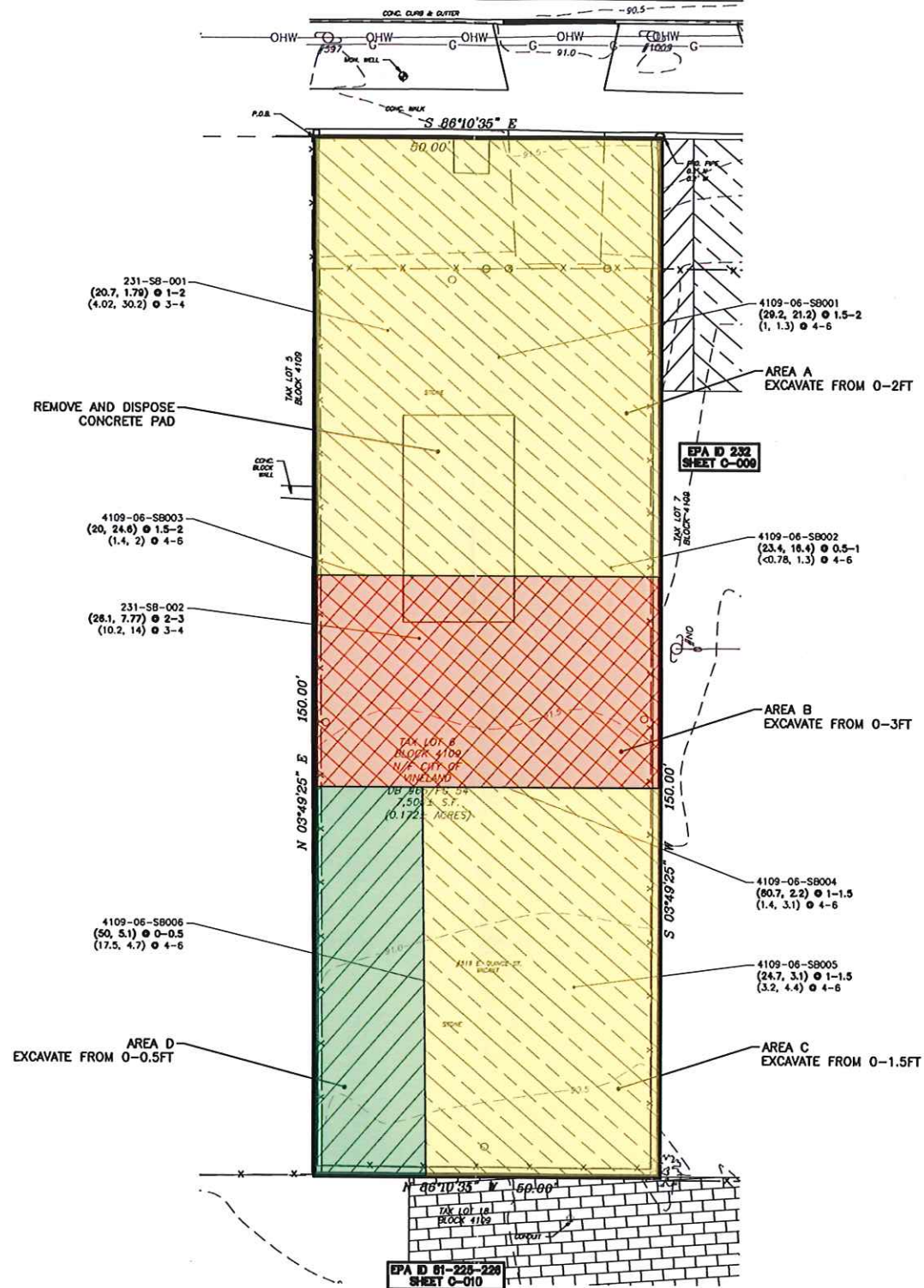
PROPERTY 231 EXISTING CONDITIONS
PLAN

Sheet Reference Number:
C-008A

SHEET 32 OF 104



EAST QUINCE STREET
(66' WIDE) BALANCE FRINGE



PROPERTY 231
#519 E QUINCE STREET
VOLUME OF EXCAVATION

AREA	SQ. FT.	VOLUME (CY)
A	3161	234
B	1529	170
C	1920	107
D	689	16
TOTAL VOLUME=		527

LEGEND

[Green diagonal hatching]	UP TO 1-FT DEPTH OF EXCAVATION
[Yellow diagonal hatching]	UP TO 2-FT DEPTH OF EXCAVATION
[Orange diagonal hatching]	UP TO 3-FT DEPTH OF EXCAVATION
[Red diagonal hatching]	UP TO 4-FT DEPTH OF EXCAVATION
[Blue diagonal hatching]	UP TO 5-FT DEPTH OF EXCAVATION
[Purple diagonal hatching]	UP TO 6-FT DEPTH OF EXCAVATION
[Pink diagonal hatching]	UP TO 8-FT DEPTH OF EXCAVATION
[Brown diagonal hatching]	UP TO 11-FT DEPTH OF EXCAVATION



Rev	Description	Date	Appr.
0/22			
A	FINAL LDRG DESIGN		

Prepared by: C. WOLF	Date: SEPTEMBER 2022	Checked by: T. STANKOVIC	Drawn by: D. HOFF
U.S. ARMY CORPS OF ENGINEERS KANSAS CITY, MISSOURI	HDR OBG a joint venture	Print scale: CAD File Name 14428-72843	

FORMER MIL-TONE SUPERFUND SITE OUZ
VINELAND, CUMBERLAND COUNTY, NEW JERSEY


PROPERTY 231 EXCAVATION PLAN

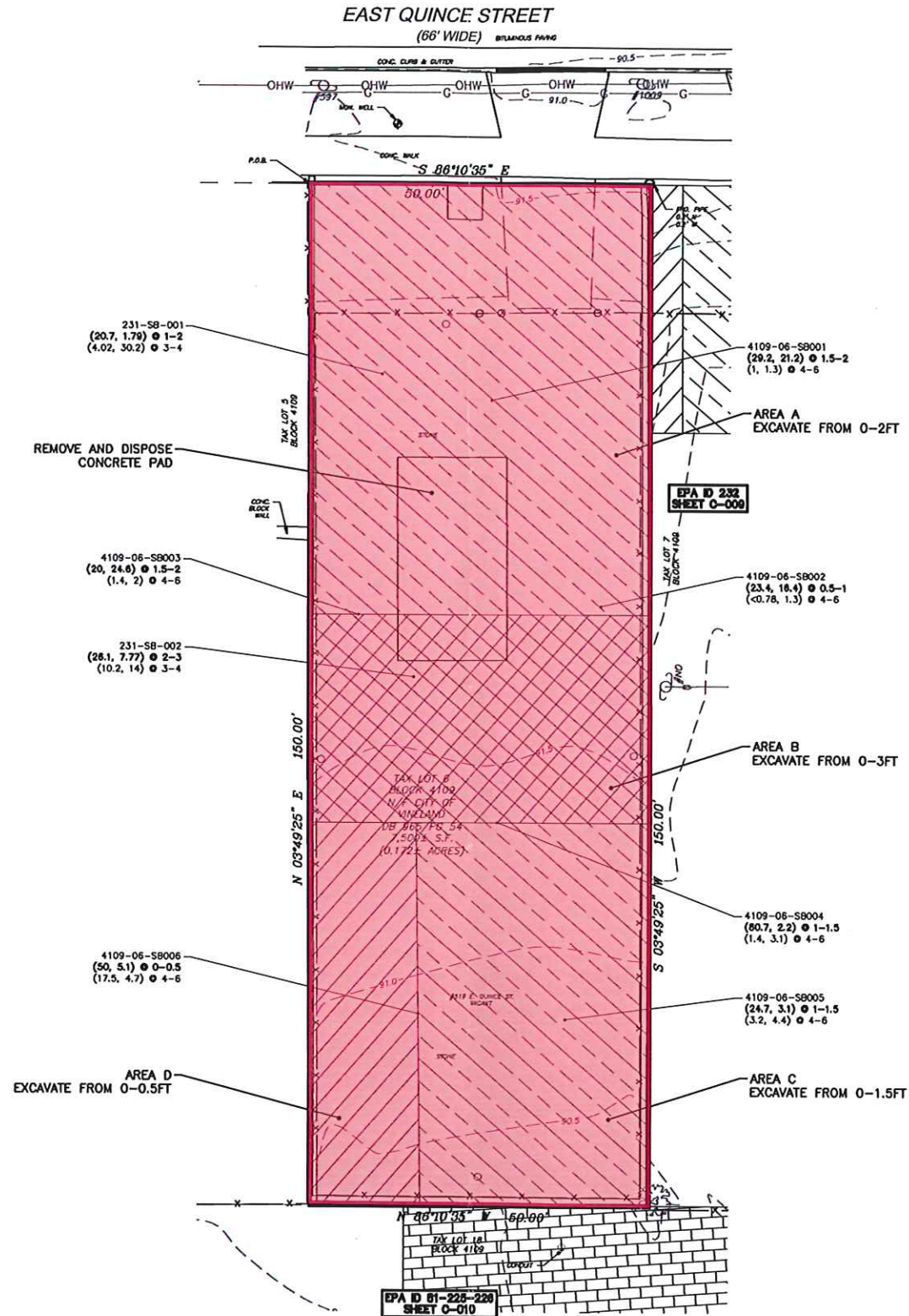
Sheet Reference Number:
C-008B

- NOTES:
1. REMOVE AND DISPOSE OF PERIMETER FENCE AND CONCRETE WALL ON LINE.
 2. REMOVE AND REPLACE EXISTING TREES AND SHRUBS WHERE SHOWN OR AS NECESSARY TO PERFORM EXCAVATION.
 3. PROVIDE REPLACEMENT TREES AND SHRUBS OF SAME SPECIES AS REMOVED UNLESS OTHERWISE DIRECTED.



LEGEND


3/4 Clean Stone Restoration (Per Contract Drawing Notes)



PROPERTY 231
#519 E. QUINCE STREET

VOLUME OF EXCAVATION		
AREA	SQ.FT.	VOLUME (CY)
A	3161	234
B	1529	170
C	1920	107
D	689	16
TOTAL VOLUME=		527



Date	Description	Symbol
9/22	FINAL LOGS DESIGN	

Reviewed by: C. WOLF	Date: SEPTEMBER 2022
Drawn by: T. STANICE	Drawing code:
Checked by: C. ANTONIA	Plot scale:
Submitted by: C. ANTONIA	CADD File Name: 14423-72843

U.S. ARMY CORPS OF ENGINEERS
 KANSAS CITY DISTRICT
HDR OBG a joint venture

FORMER MIL-TONE SUPERFUND SITE OUZ
 VINELAND, CUMBERLAND COUNTY, NEW JERSEY
PROPERTY 231 EXCAVATION PLAN

Sheet Reference Number:
C-008B
 SHEET 33 OF 104

NOTES:
 1. RESTORE EXCAVATED AREAS AS STONE SURFACES. MATCH EXISTING GRADES AT PROPERTY LINES TO EAST, WEST AND SOUTH.



UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REGION 2
290 BROADWAY
NEW YORK, NY 10007-1866
(212) 637-3000
<https://www.epa.gov/aboutepa/epa-region-2>

RESTORATION PLAN AGREEMENT FORM

The purpose of this agreement is to provide a mutual agreement as to the removal and restoration activities on your property and to document the condition of the property prior to remediation activities. This will also serve as documentation for the purpose of assuring that restoration activities are completed to the satisfaction of the property owner and the United States Environmental Protection Agency (EPA) for the Kil-Tone Remedial Action Superfund Site Operable Unit 2-Phase I, Vineland, New Jersey.

EPA Property ID: 320
Property Address: 520 S. Seventh St. Vineland NJ 08360, Block 4110, Lot 12
Property Owner(s): City of Vineland
Tenant(s) residing at the address (if different than owner) and contact information: Vacant
Property Owner Contact Information (Phone Number, E-mail, Alt. Address): Contacts: Bob Dickenson, Richard Tonetta & Greg Gallo (856)794-4000

General Clauses

Remedial and restoration activities will be conducted in accordance with the following provisions:

- All restoration items will be replaced in kind otherwise documented within this restoration agreement. Restoration items that do not meet current City of Vineland code enforcement are requested to be code compliant, if possible, and approved by property owner.
- Only government-authorized personnel will be permitted to perform work on the property during the remedial and restoration activities
- Excavation boundaries are subject to change based on confirmation sampling results.
- To aid with final site grading during restoration, SES requests information on any water infiltration, current or past, into the home or business (e.g., wet basement).
- SES requests information on any known sprinkler systems and underground electric lines in the yard and if they are currently operational?
- All trees, shrubs and plants will be photo documented and identified by professional landscaper prior to removal for eventual in-kind restoration. Planting type and size will be based upon nursery availability. In the event that the same plant replacement is unavailable, the homeowner will be contacted for their input on an acceptable equivalent replacement before proceeding with restoration.
- The landscaping subcontractor will water restored plants/sod/hydroseed at the time of placement and as needed for a period of 3 months or until plantings are dormant, whichever occurs first. Sod/hydroseed will also be maintained (e.g., watered and cut) by the landscaping subcontractor for a period of 3 months. It will then become the resident's responsibility to maintain the restored planting. Plant warranties are good for a period of 1 year while grass is warrantied for a period of 3 months.
- If the property owner chooses to relocate, change, upgrade any restoration items, or otherwise makes improvements within areas affected by the remediation activities, and those changes are not mentioned or discussed in this agreement, any change or damage that occurs as results is the liability and responsibility of the property owner. This is true during the implementation of remedial and restoration activities, as well as during any subsequent warranty periods.
- If the owner or resident has questions or concerns, he or she should contact a member of the Property Coordination Team:

Dan Patel (USEPA): 212-637-3924

Alan White (USEPA): 212-637-3925

Luis Hiciano (USACE): 267-608-7809

Michael Cox (USACE): 609-929-0384

Jesse Albert (Sevenson Environmental): 484-274-1372

Background

This section includes property information that was obtained from investigations and sampling activities

Exterior Property Investigation Findings

(Use additional sheets as necessary)

Item: An estimated 88.28 CY of contaminated soils to be removed from the property. Please see attached contract drawings for confirmed areas of excavation. It is noted that this is a minimum remediation quantity. Confirmation sampling may warrant additional remediation which the property owner will be informed of prior to any additional remediation.

Item: An exterior photo and video survey will be completed on this property prior to excavation activities.
-The photos and video documentation of the exterior conducted by the remediation contractor on behalf of the EPA will become an integral part of this restoration agreement to document pre-remedial conditions.
-The property owner or its representative will have the opportunity to witness the photo and video documentation of the pre-remedial condition of the exterior of the property.

Additional Exterior Information:

Interior Property Investigation Findings

(Use additional sheets as necessary)

- Restoration plans for each property will be created by the EPA contractor. The remediation contractor will adhere to the construction specifications established for the Kil-Tone Remedial Action Superfund Site-OU2 Phase I.

Item: N/A

Additional Interior Information:

Additional Business Information (if applicable):

(Use additional sheets as necessary)

Hours of Business:

Day/time of reoccurring deliveries:

Other Important Notes:

Items to be removed by the owner before the start of remediation activities*:
(Use additional sheets as necessary)

Items:
-SES to provide disposal of unwanted items located within the excavation area

** The removal, storage, disposal, and/or return of these items are the owner's responsibility. Severson will assist if requested.*

Items to be removed by the contractor during remediation activities and NOT REPLACED:
(Use additional sheets as necessary)

Item:
-N/A

Items to be removed by the contractor during remediation activities and REPLACED:
(Use additional sheets as necessary Include references to applicable drawings, cut sheets, figures, product selections, etc.)

Item:

- Approximately 6 deciduous trees (Dogwood or equivalent) and 15 shrubs (boxwood or equivalent) located on the northern side of the property in the landscaped area with approximately 678 Sq. Ft. of mulching.
- Low maintenance region appropriate sod to be used as replacement in grass areas, approximately 1,178 Sq. Ft. as noted on the restoration drawing.
- Parking area to be restored with DGA stone as noted on the restoration drawing. Approximately 5,547 Sq. Ft to be restored.
- Approximately 140 linear feet of concrete curb to be replaced on the northern side of the property as noted on the restoration drawing.

Additional Comments/Special Instructions

- All restoration work will be completed in compliance with US Army Corps of Engineers Requirements.
- Work will be performed as shown within this Restoration Plan and associated attached drawings.
- Some additional tree restoration outside of but in close proximity to remediation areas may be needed if trees are unexpectedly impacted by remedial operations.
- SES will utilize protective equipment mats to limit areas of disturbance outside remediation areas. Any disturbance areas will be restored to original conditions.
- A Security subcontractor will complete rounds during non-working hours to help ensure excavation areas are safe and secure.

I acknowledge that I have reviewed this Restoration Agreement and the attached Exterior Remediation and Restoration Plan(s) for the property located at the address referenced on the first page. I, _____, hereby certify that the information provided by me in this agreement is to the best of my knowledge true, accurate, and complete. I agree to the removal and restoration of my property as outlined in this agreement

Owner's Signature

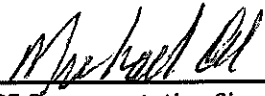
DATE



7/17/2024

Contractor's Representative Signature

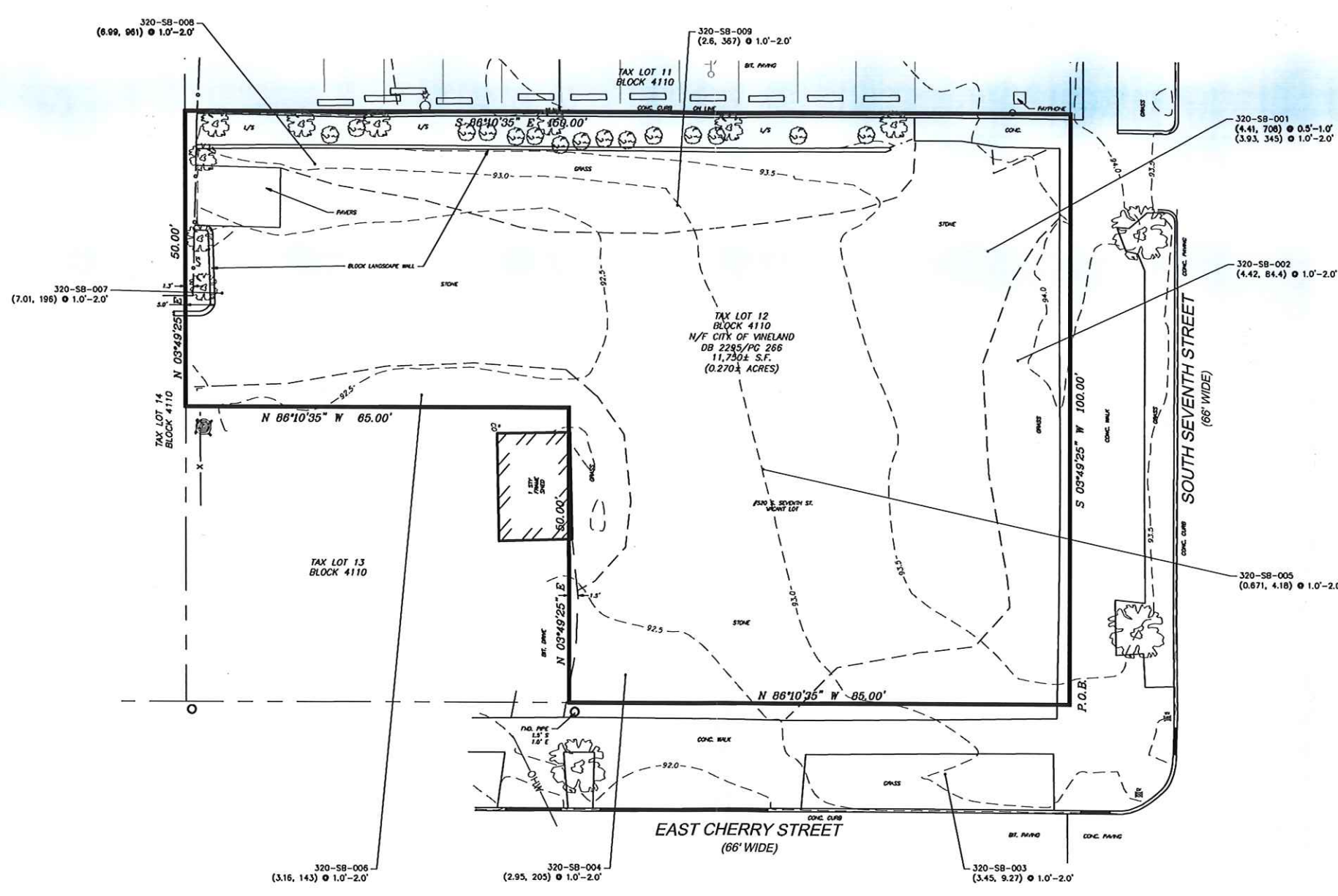
DATE



7/17/2024

USACE Representative Signature

DATE



PROPERTY 320
#520 S. SEVENTH STREET
SOIL BORING LOCATIONS

ID#	Y=NORTHING	X=EASTING
320-SB-001	236010.50	344872.60
320-SB-002	235991.70	344876.40
320-SB-003	235922.59	344859.50
320-SB-004	235942.69	344805.40
320-SB-005	235978.00	344832.00
320-SB-006	235992.20	344775.10
320-SB-007	236011.60	344742.50
320-SB-008	236032.39	344759.70
320-SB-009	236021.50	344820.49



US Army Corps
of Engineers *
Kansas City District

City Approval
22 September 2022
STATE OF NEW JERSEY
PROFESSIONAL ENGINEER No. 0056465
GARY A. ANDRILL

Date	Description	Appr.
9/22		

Designed by: S. WOLF
Drawn by: D. ROBT
Checked by: L. STANEC
Submitted by: S. ANDRILL

Date: SEPTEMBER 2022
Drawing code:
Plot scale:
CADD File Name: 14020724A3

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

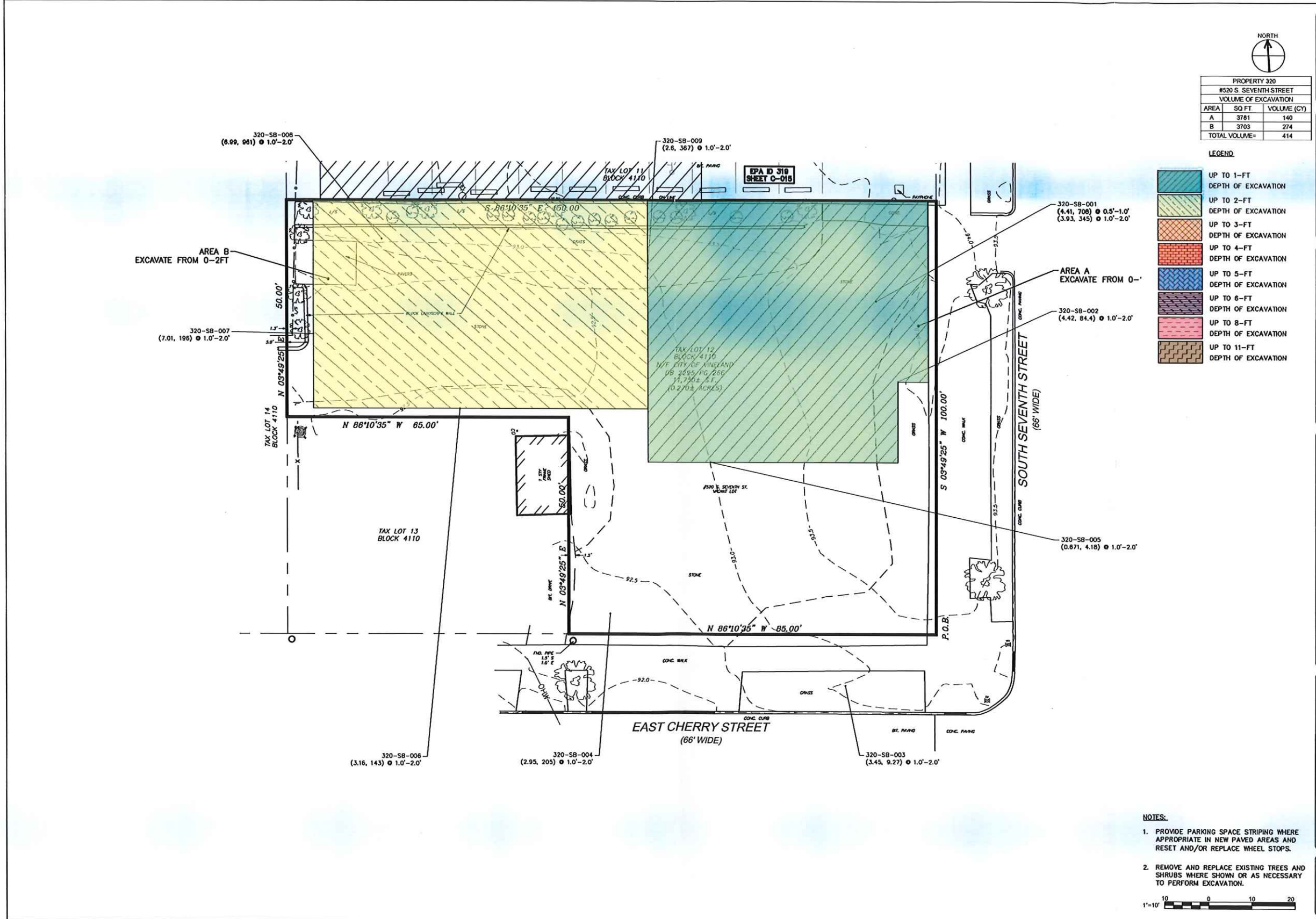
HDR OBG a joint venture

FORMER KIL-TONE SUPERFUND SITE OUZ
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 320 EXISTING CONDITIONS
PLAN

Sheet
Reference
Number:
C-016A





PROPERTY 320 #520 S. SEVENTH STREET VOLUME OF EXCAVATION		
AREA	SQ FT	VOLUME (CY)
A	3781	140
B	3703	274
TOTAL VOLUME=		414

LEGEND

[Hatched Pattern]	UP TO 1-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 2-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 3-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 4-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 5-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 6-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 8-FT DEPTH OF EXCAVATION
[Hatched Pattern]	UP TO 11-FT DEPTH OF EXCAVATION



US Army Corps
of Engineers
Kansas City District

City Approval
22 September 2022
STATE OF NEW JERSEY
GARY A. ANDRVAL
PROFESSIONAL ENGINEER No. 0246465

Symbol	Description	Date	Appr.
A	FINAL 100% DESIGN	9/22	

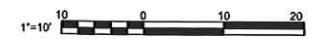
Date: SEPTEMBER 2022
Drawing code:
Designed by: C. WOLF
Drawn by: D. ROBT
Checked by: T. STANEC
Submitted by: C. ANDRVAL
CAD File Name: 1420212940

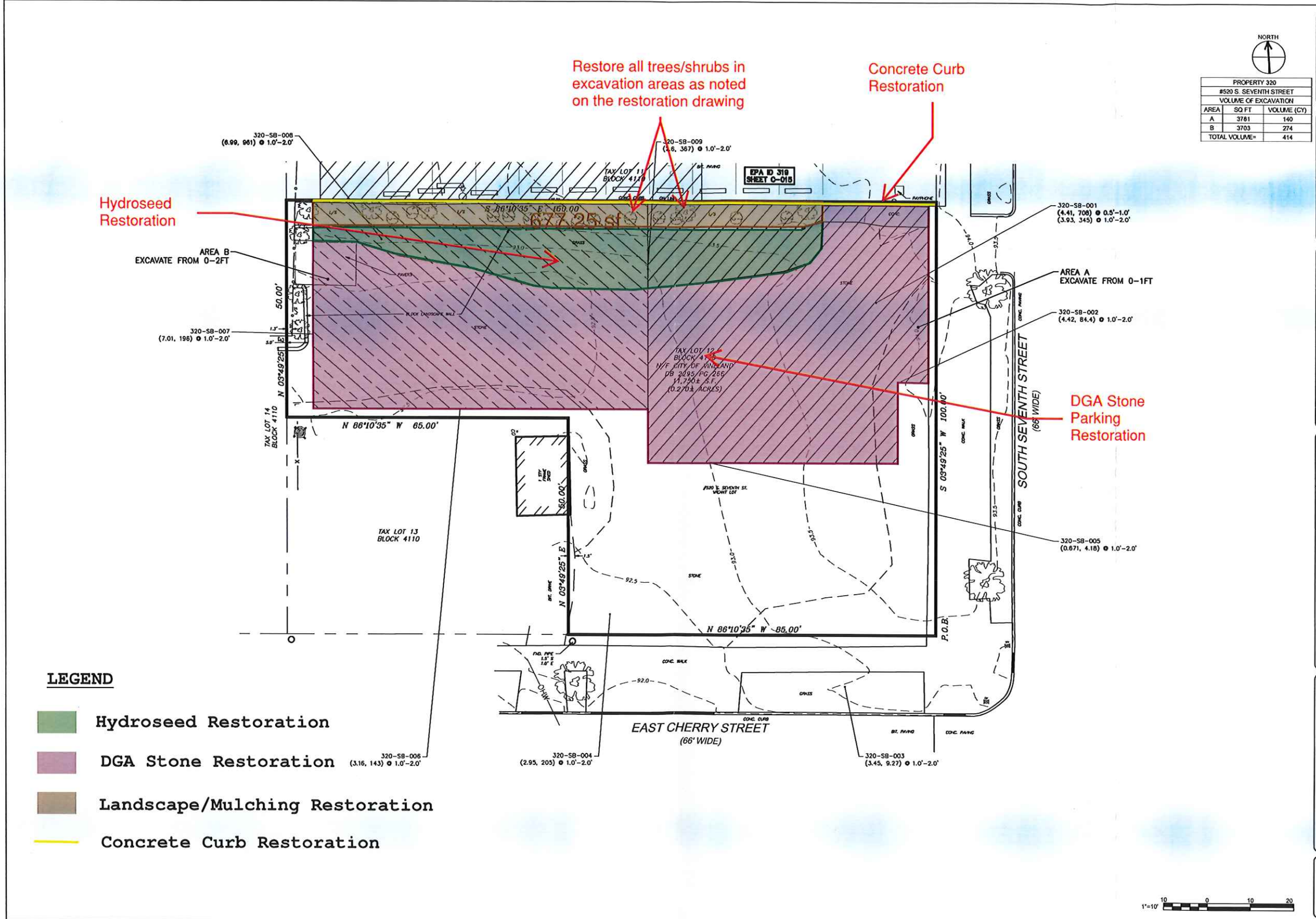
U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI
HDR OBG a joint venture

FORMER KIL-TONE SUPERFUND SITE 012
PHASE 1
VINELAND, CUMBERLAND COUNTY, NEW JERSEY
PROPERTY 320 EXCAVATION PLAN

Sheet
Reference
Number:
C-016B
SHEET 59 OF 104

- NOTES:**
1. PROVIDE PARKING SPACE STRIPING WHERE APPROPRIATE IN NEW PAVED AREAS AND RESET AND/OR REPLACE WHEEL STOPS.
 2. REMOVE AND REPLACE EXISTING TREES AND SHRUBS WHERE SHOWN OR AS NECESSARY TO PERFORM EXCAVATION.





LEGEND

- Hydroseed Restoration
- DGA Stone Restoration
- Landscape/Mulching Restoration
- Concrete Curb Restoration

PROPERTY 320
#520 S. SEVENTH STREET
VOLUME OF EXCAVATION

AREA	SQ FT	VOLUME (CY)
A	3781	140
B	3703	274
TOTAL VOLUME=		414



Very Angel
22 September 2022
STATE OF NEW JERSEY
CITY OF ANCHORAGE
PROFESSIONAL ENGINEER No. 02-04463

Symbol	Description	Date	Appr.
A	FINAL LODGE DESIGN	9/22	

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

HDR OBG a joint venture

Date: SEPTEMBER 2022
Designed by: L. WOLF
Drawn by: D. RENT
Checked by: T. STANEC
Submitted by: L. ANCHAL

Plot scale: CAD File Name: 14201724-03

FORMER MIL-TONE SUPERFUND SITE OUZ
PHASE 1
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 320 EXCAVATION PLAN

Sheet Reference Number:
C-016B

SHEET 59 OF 104

UNITED STATES ENVIRONMENTAL PROTECTION AGENCY REGION 2
290 BROADWAY
NEW YORK, NY 10007-1866
(212) 637-3000
<https://www.epa.gov/aboutepa/epa-region-2>

RESTORATION PLAN AGREEMENT FORM

The purpose of this agreement is to provide a mutual agreement as to the removal and restoration activities on your property and to document the condition of the property prior to remediation activities. This will also serve as documentation for the purpose of assuring that restoration activities are completed to the satisfaction of the property owner and the United States Environmental Protection Agency (EPA) for the Kil-Tone Remedial Action Superfund Site Operable Unit 2-Phase I, Vineland, New Jersey.

EPA Property ID: 321
Property Address: 702 E. Quince St. Vineland NJ 08360, Block 4106, Lot 16
Property Owner(s): City of Vineland
Tenant(s) residing at the address (if different than owner) and contact information: Vacant
Property Owner Contact Information (Phone Number, E-mail, Alt. Address): Contacts: Bob Dickenson, Richard Tonetta & Greg Gallo (856)794-4000

General Clauses

Remedial and restoration activities will be conducted in accordance with the following provisions:

- All restoration items will be replaced in kind otherwise documented within this restoration agreement. Restoration items that do not meet current City of Vineland code enforcement are requested to be code compliant, if possible, and approved by property owner.
- Only government-authorized personnel will be permitted to perform work on the property during the remedial and restoration activities
- Excavation boundaries are subject to change based on confirmation sampling results.
- To aid with final site grading during restoration, SES requests information on any water infiltration, current or past, into the home or business (e.g., wet basement).
- SES requests information on any known sprinkler systems and underground electric lines in the yard and if they are currently operational?
- All trees, shrubs and plants will be photo documented and identified by professional landscaper prior to removal for eventual in-kind restoration. Planting type and size will be based upon nursery availability. In the event that the same plant replacement is unavailable, the homeowner will be contacted for their input on an acceptable equivalent replacement before proceeding with restoration.
- The landscaping subcontractor will water restored plants/sod/hydroseed at the time of placement and as needed for a period of 3 months or until plantings are dormant, whichever occurs first. Sod/hydroseed will also be maintained (e.g., watered and cut) by the landscaping subcontractor for a period of 3 months. It will then become the resident's responsibility to maintain the restored planting. Plant warranties are good for a period of 1 year while grass is warrantied for a period of 3 months.
- If the property owner chooses to relocate, change, upgrade any restoration items, or otherwise makes improvements within areas affected by the remediation activities, and those changes are not mentioned or discussed in this agreement, any change or damage that occurs as results is the liability and responsibility of the property owner. This is true during the implementation of remedial and restoration activities, as well as during any subsequent warranty periods.
- If the owner or resident has questions or concerns, he or she should contact a member of the Property Coordination Team:

Dan Patel (USEPA): 212-637-3924

Alan White (USEPA): 212-637-3925

Luis Hiciano (USACE): 267-608-7809

Michael Cox (USACE): 609-929-0384

Jesse Albert (Sevenson Environmental): 484-274-1372

Background

This section includes property information that was obtained from investigations and sampling activities

Exterior Property Investigation Findings

(Use additional sheets as necessary)

Item: An estimated 160 CY of contaminated soils to be removed from the property. Please see attached contract drawings for confirmed areas of excavation. It is noted that this is a minimum remediation quantity. Confirmation sampling may warrant additional remediation which the property owner will be informed of prior to any additional remediation.

Item: An exterior photo and video survey will be completed on this property prior to excavation activities.
-The photos and video documentation of the exterior conducted by the remediation contractor on behalf of the EPA will become an integral part of this restoration agreement to document pre-remedial conditions.
-The property owner or its representative will have the opportunity to witness the photo and video documentation of the pre-remedial condition of the exterior of the property.

Additional Exterior Information:

Interior Property Investigation Findings

(Use additional sheets as necessary)

- Restoration plans for each property will be created by the EPA contractor. The remediation contractor will adhere to the construction specifications established for the Kil-Tone Remedial Action Superfund Site-OU2 Phase I.

Item: N/A

Additional Interior Information:

Additional Business Information (if applicable):
(Use additional sheets as necessary)

Hours of Business:

Day/time of reoccurring deliveries:

Other Important Notes:

Items to be removed by the owner before the start of remediation activities*:
(Use additional sheets as necessary)

Items:
-SES to provide disposal of unwanted items located within the excavation area

** The removal, storage, disposal, and/or return of these items are the owner's responsibility. Severson will assist if requested.*

Items to be removed by the contractor during remediation activities and NOT REPLACED:
(Use additional sheets as necessary)

Item:
-N/A

Items to be removed by the contractor during remediation activities and REPLACED:

(Use additional sheets as necessary Include references to applicable drawings, cut sheets, figures, product selections, etc.)

Item:

-Low maintenance region appropriate hydroseed to be used as replacement in grass areas, approximately 4,106 Sq. Ft. as noted on the restoration drawing.

-Portions of concrete barrier wall may need to be removed and restored or possibly replaced. Approximately 76 Linear Feet, as noted on the restoration drawing.

Additional Comments/Special Instructions

- All restoration work will be completed in compliance with US Army Corps of Engineers Requirements.
- Work will be performed as shown within this Restoration Plan and associated attached drawings.
- Some additional tree restoration outside of but in close proximity to remediation areas may be needed if trees are unexpectedly impacted by remedial operations.
- SES will utilize protective equipment mats to limit areas of disturbance outside remediation areas. Any disturbance areas will be restored to original conditions.
- A Security subcontractor will complete rounds during non-working hours to help ensure excavation areas are safe and secure.
- SES requests the use of the vacant lot as an area of lay down for clean materials such as backfill & topsoil. Any areas disturbed will be restored to original conditions prior to project completion.

I acknowledge that I have reviewed this Restoration Agreement and the attached Exterior Remediation and Restoration Plan(s) for the property located at the address referenced on the first page. I, _____, hereby certify that the information provided by me in this agreement is to the best of my knowledge true, accurate, and complete. I agree to the removal and restoration of my property as outlined in this agreement

Owner's Signature

DATE



7/17/2024

Contractor's Representative Signature

DATE



7/17/2024

USACE Representative Signature

DATE

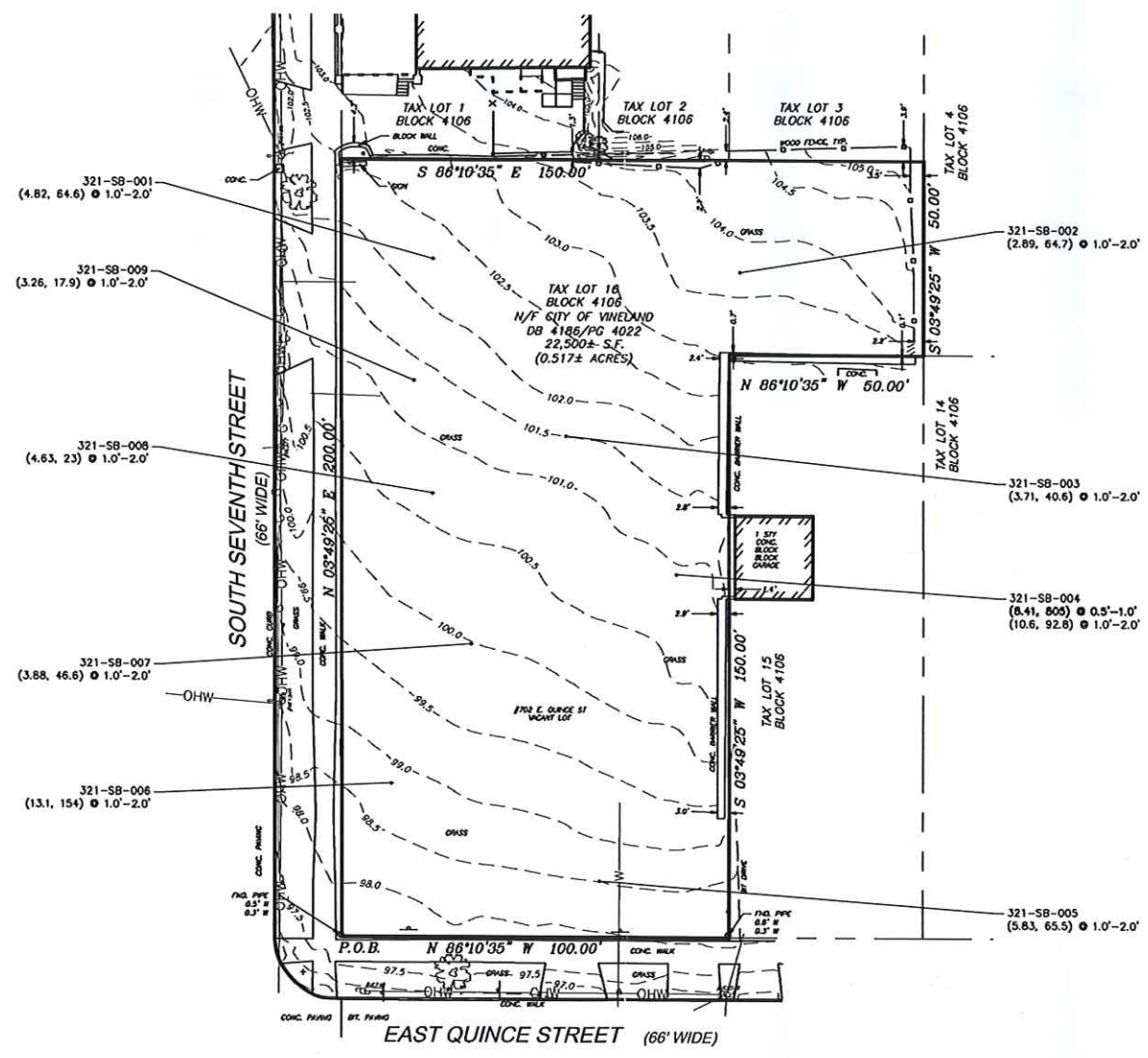


US Army Corps
of Engineers
Kansas City District

PROPERTY 321
#702 E QUINCE STREET
SOIL BORING LOCATIONS

ID#	Y=NORTHING	X=EASTING
321-SB-001	236465.19	343008.59
321-SB-002	236456.60	343087.30
321-SB-003	236417.30	343039.79
321-SB-004	236379.89	343065.79
321-SB-005	236302.50	343040.79
321-SB-006	236331.10	344668.80
321-SB-007	236365.49	343011.00
321-SB-008	236404.90	343004.40
321-SB-009	236434.30	343001.50

Geary Angel
22 September 2022
STATE OF NEW JERSEY
LAWYER
LAWYER A. ANCIAL
PROFESSIONAL ENGINEER No. 0654645



Final Issue Edition	Date	Appr.
A	9/22	

Designed by: L. WOLF
Drawn by: D. ROBT
Checked by: L. STANEC
Submitted by: L. ANCIAL

Date: SEPTEMBER 2022
Drawing code:
Plot scale:
CAD File Name: 1-18-2022.dwg

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

HDR OBG a joint venture

FORMER KIL-TONE SUPERFUND SITE OUZ
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 321 EXISTING CONDITIONS
PLAN

Sheet
Reference
Number:
C-020A

SHEET 71 OF 104



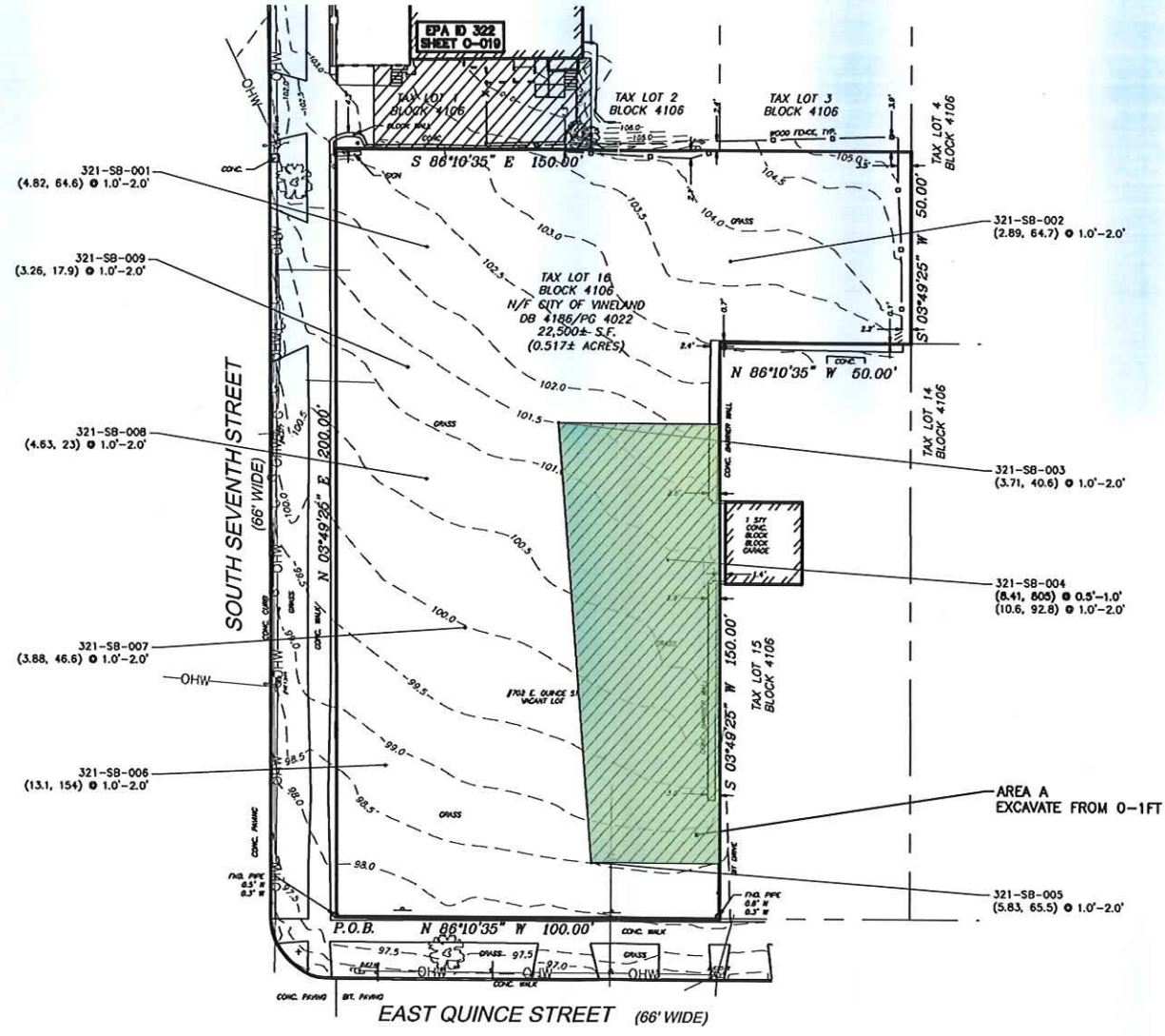


US Army Corps
of Engineers
Kansas City District

PROPERTY 321 #702 E QUINCE STREET		
VOLUME OF EXCAVATION		
AREA	SQ. FT.	VOLUME (CY)
A	4313	160
TOTAL VOLUME=		160

LEGEND

	UP TO 1-FT DEPTH OF EXCAVATION
	UP TO 2-FT DEPTH OF EXCAVATION
	UP TO 3-FT DEPTH OF EXCAVATION
	UP TO 4-FT DEPTH OF EXCAVATION
	UP TO 5-FT DEPTH OF EXCAVATION
	UP TO 6-FT DEPTH OF EXCAVATION
	UP TO 8-FT DEPTH OF EXCAVATION
	UP TO 11-FT DEPTH OF EXCAVATION



U.S. Army Corps of Engineers
Kansas City District
Professional Engineer No. 0244465

Date	Description	Symbol
9/22	FINAL LODG DESIGN	

Designed by: G. WOLF
Drawn by: D. ADRI
Checked by: L. STRALEC
Submitted by: G. ANDRVAL

U.S. ARMY CORPS OF ENGINEERS
KANSAS CITY DISTRICT
KANSAS CITY, MISSOURI

HDR OBG a joint venture

FORMER MIL-TONE SUPERFUND SITE OUZ
VINELAND, CUMBERLAND COUNTY, NEW JERSEY

PROPERTY 321 EXCAVATION PLAN

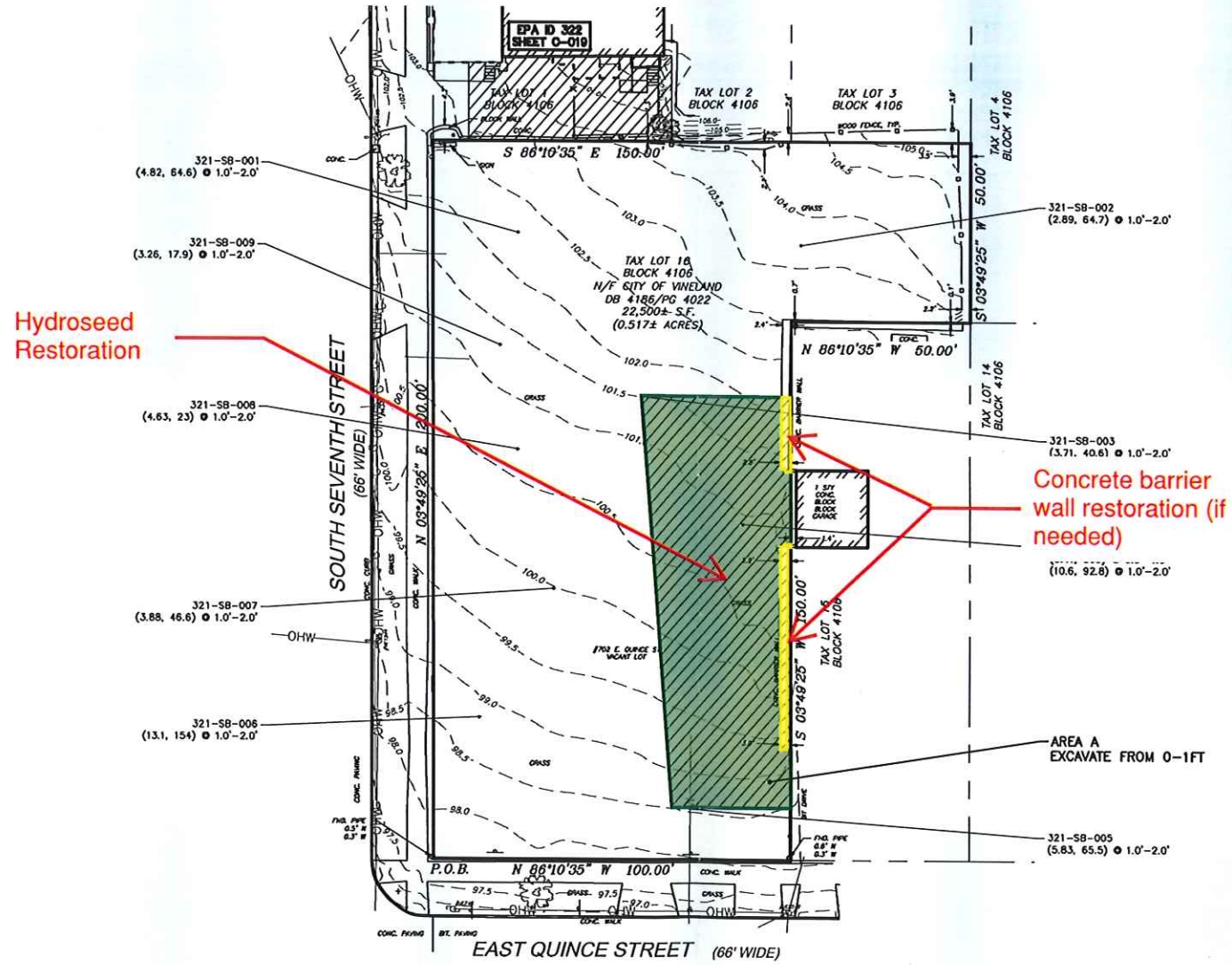
Sheet Reference Number:
C-020B

- NOTES:
- RESTORE ALL DISTURBED AND EXCAVATED AREAS IN KIND TO EXISTING GRADE.
 - REMOVE AND REPLACE EXISTING TREES AND SHRUBS WHERE SHOWN OR AS NECESSARY TO PERFORM EXCAVATION.
 - PROVIDE REPLACEMENT TREES AND SHRUBS OF SAME SPECIES AS REMOVED UNLESS OTHERWISE DIRECTED.



LEGEND

- Hydroseed Restoration
- Concrete Barrier Wall Restoration



PROPERTY 321
#702 E. QUINCE STREET

VOLUME OF EXCAVATION		
AREA	SQ. FT.	VOLUME (CY)
A	4313	160
TOTAL VOLUME=		160



STATE OF NEW JERSEY
PROFESSIONAL ENGINEER No. 0636465
GARY A. ANZVAL
22 September 2022

Symbol	Description	Date	Appr.
A	FINAL LOGS DESIGN	9/22	

Employed by: SEPTEMBER 2022
S. ANZVAL
Drawn by: D. ADRI
Checked by: T. STRAIN
Scale: AS SHOWN
File Name: 14420.73843

U.S. ARMY CORPS OF ENGINEERS
DISTRICT OFFICE
KANSAS CITY, MISSOURI
HDR OBG a joint venture

FORMER KIL-TONE SUPERFUND SITE OUI2
VINELAND, CUMBERLAND COUNTY, NEW JERSEY
PROPERTY 321 EXCAVATION PLAN

Sheet Reference Number:
C-020B

